

Historic Zoning Commission

September 17, 2020

St. Elmo

Historic District Guidelines



Fort Wood

Historic District Guidelines



Ferber Place

Historic District Guidelines



Battery Place

Historic District Guidelines



Agenda

1. Roll Call
2. Swearing In
3. Rules of Procedure. Order of Business
4. Approve Minutes of Prior Meeting
5. Old Business: None
6. New Business:
 - a. Case HZ-20-140: 4912 Florida Avenue – New construction of a primary structure
 - b. Case HZ-20-142: 4601 Alabama Avenue – Building addition & add shutters
 - c. Case HZ-20-143: 5010 Tennessee Avenue – New construction of a primary structure
 - d. Case HZ-20-144: 4300 Tennessee Avenue – New construction of building addition and restoration of the existing structure
7. Other Business: Welcome New CHZC Member Veronica Park as the architecture representative.
8. Announcements: Next meeting date: October 15, 2020 (deadline: September 18, 2020 at 4 P.M.)
9. Adjourn

Rules of Procedure. Order of Business

The order of business for hearing will be as follows:

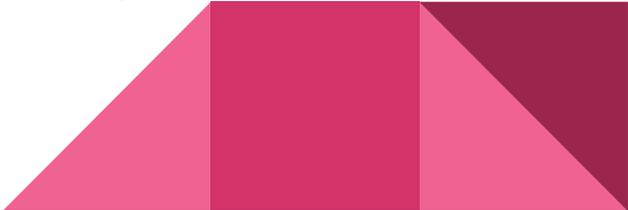
1. Staff presentation
 - a. Application description of proposed project
 - b. Note if the site/structure is historic and/or listed as contributing to the character of the district.
 - c. Location of proposed project
 - d. Explanation of proposed project
 - e. Project photographs and plans
 2. Applicant Presentation (10 minutes maximum)
 3. Comments by Other Persons (3 minutes maximum per person)
 - a. Opponents, proponents, and other
 4. Applicant Response (5 minute maximum)
 5. Historic Zoning Commission Discussion
 6. Motion and Vote
- 

Rules of Procedure. Virtual Public Meetings on Zoom

On March 20, 2020, Governor Bill Lee signed Executive Order No. 16 (“the Order”), which suspends the requirements of the Tennessee Open Meetings Act (“TOMA”) to the extent necessary to allow any governing body subject to the requirements of TOMA to meet and conduct essential business by electronic means if the body determines meeting electronically is necessary to protect the health, safety, and welfare of Tennesseans in light of the COVID-19 pandemic.

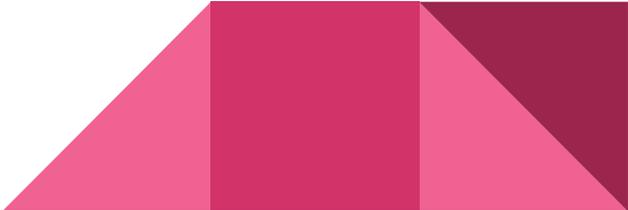
The Governor’s Order applies to any state, county, or municipal governing body or any other public body that may be subject to the requirements of TOMA. It allows members of the governing body to participate and vote in public meetings without being physically present to protect public health, safety, and welfare and prevent the spread of COVID-19. This is a temporary measure that originally expired on May 18, 2020, further action has been taken by the Governor and this temporary measure has been extended.

Based on the Governor’s Order this Chattanooga Historic Zoning Commission (CHZC) meeting will be audible to the public at the location specified in the notice of the meeting.

- Each member participating electronically or otherwise should be able to hear each other simultaneously and speak to each other during the meeting.
 - Documents which will be discussed at the meeting have been provided to members participating electronically prior to the meeting from the CHZC agenda posted on the City website, to the extent doing so is practicable.
 - All votes at the meeting will be taken by roll call vote.
 - Notice of the meeting has provided a statement that the meeting will allow members to participate electronically or by other means.
- 

Rules of Procedure. Virtual Public Meetings on Zoom

For any Public Comments: At the “Community Comments/ Comments by Other Persons” time of the meeting the Chair will recognize members of the public who wish to address the Commission. The following procedural rules will apply to public comments:

1. Each speaker wishing to address the Commission shall be recognized only after a speaker has provided identification including the speaker’s name and address, establishing that identification before addressing the Commission.
 2. No person shall have more than three (3) minutes to speak. (Per City Council’s current virtual public meeting protocol)
 3. The speaker may address the Commission only upon matters within the legislative and quasi-judicial authority of the Commission. The speaker may not address the Commission on matters which are not under the authority of the Commission and which are regulated by other governmental bodies or agencies.
 4. The speaker shall not be permitted to use any vulgar or obscene language, nor use the floor to personally attack or personally denigrate others. The speaker should address the Commission as a whole and not make comments directed towards individual Commission members.
 5. The Chair shall not permit Disorderly Conduct or Disrupting a Public Meeting which is prohibited by Tennessee law after warning is given to the disrupter. A person commits an offense if the person substantially obstructs or interferes with the meeting by physical action or verbal utterance with the intent to prevent or disrupt a lawful meeting or gathering.
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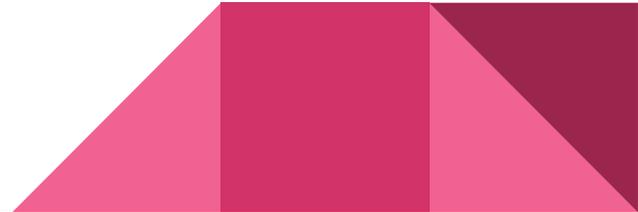
Additional Rules of Procedure

Applicant Deferring Case: If you would like to defer your case to be heard at a later date, a deferral must be requested by the applicant prior to the statement of the case's motion.

- The application must be updated (in its entirety) by the applicant and submitted one week after the meeting date.
- If you defer your case OR if you have conditional items to bring back before the Commission, you **MUST** contact staff and ask to be added to the agenda for that meeting. You will **NOT** automatically be added to the agenda.

COA Information:

- A Certificate of Appropriateness will be issued within a week of the hearing.
- All construction work must meet the Certificate of Appropriateness (COA) and Design Guidelines as approved by the Chattanooga Historic Zoning Commission or CHZC Staff. If plans change, a new application will be required. If work is not started within 6 months of issue date, a new COA will need to be issued.
- A COA is **NOT** a building permit or a land disturbing permit. Please contact the Land Disturbing Office or the Building Permit Office prior to starting the project.
- The COA must be posted in a visible location or on file on the property until the project is completed.





Prior Meeting Minutes



Old Business

None



New Business

Case # HZ-20-140

4912 Florida Avenue

Neighborhood: Saint Elmo
Historic Structure: No, vacant lot

Description of proposed project:

- New Construction of a primary structure with an attached garage
- New walkway, driveway and parking pad

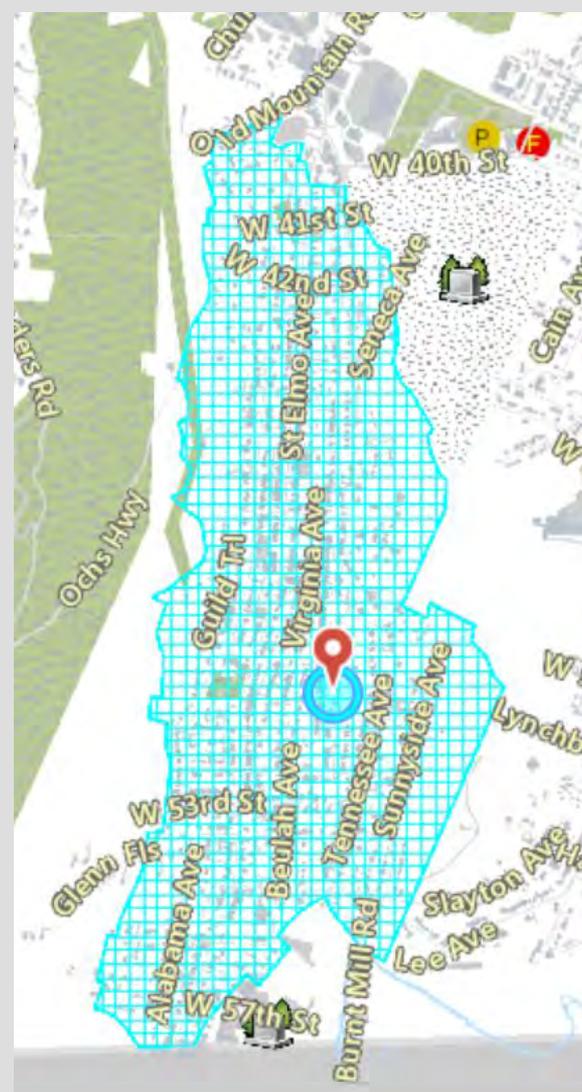
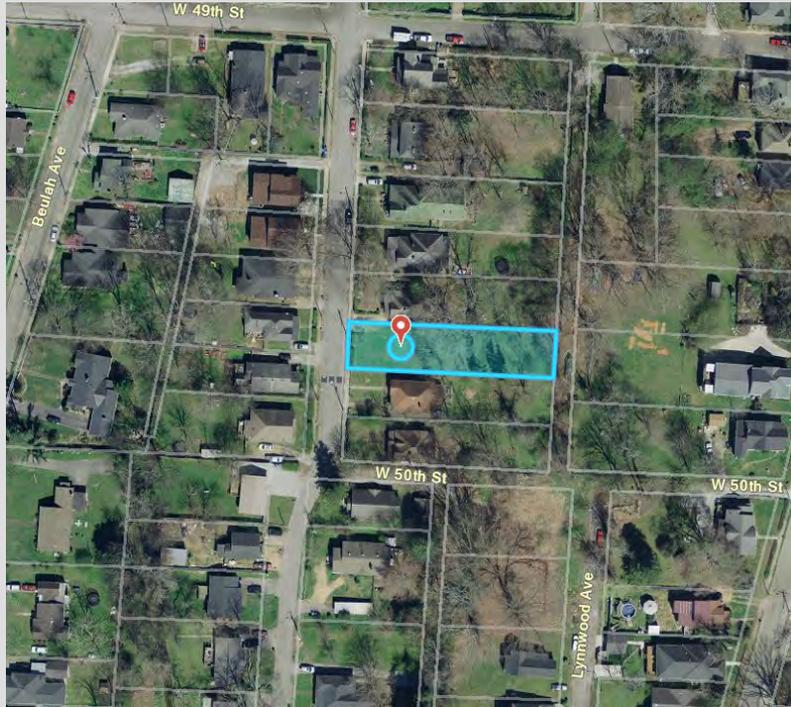


Historic Zoning History:

COA 20-HZ-00013: DENY by CHZC: Application for a new construction of a primary structure with an attached garage. Concrete driveway, walkway and parking area.

Map Location

Case # HZ-20-140
4912 Florida Avenue



Property Images

Application Information

Case # HZ-20-140
4912 Florida Avenue



Property Images

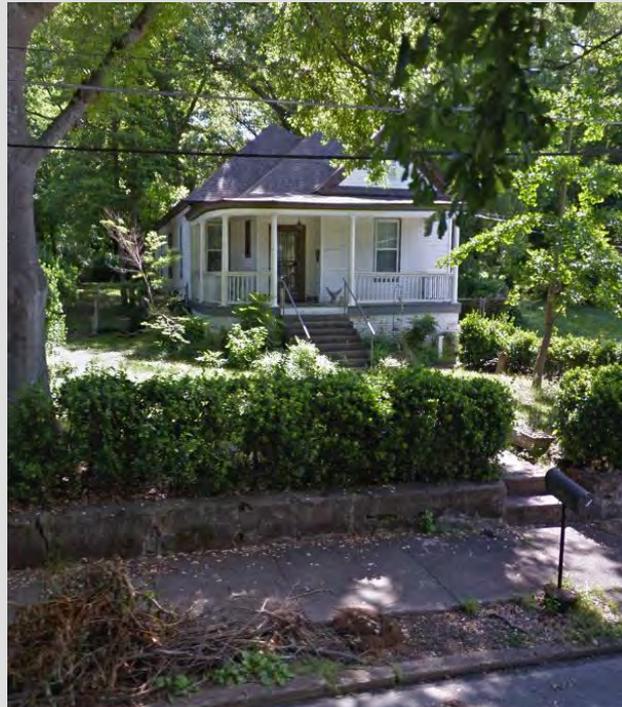
Application Information

Case # HZ-20-140
4912 Florida Avenue



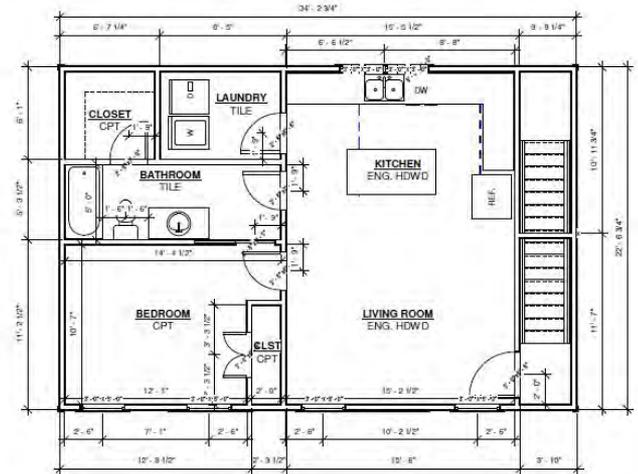
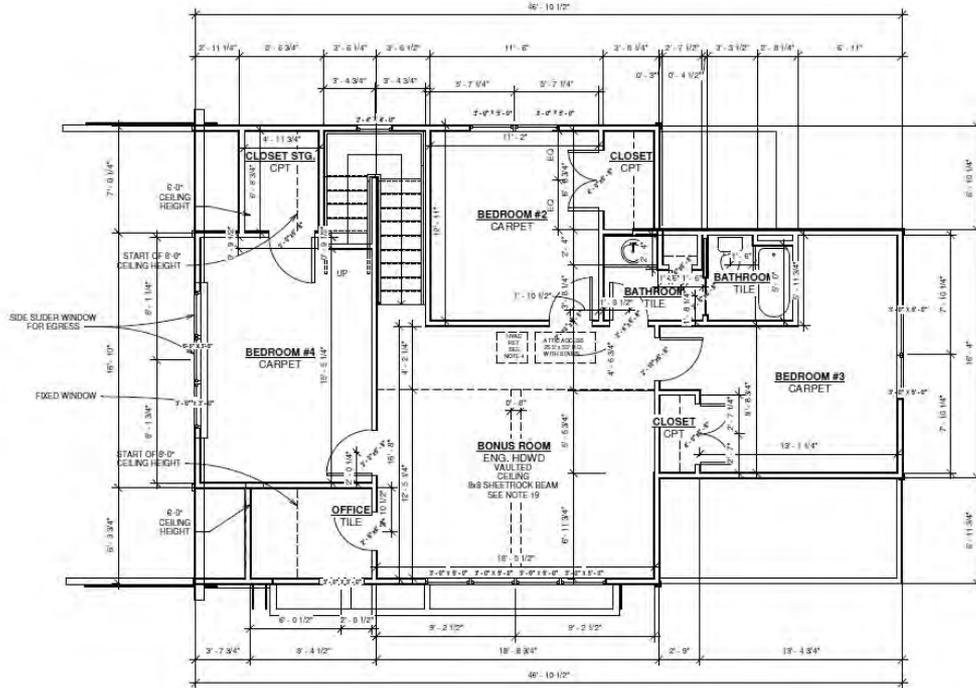
Neighboring Properties Images Application Information

Case # HZ-20-140
4912 Florida Avenue



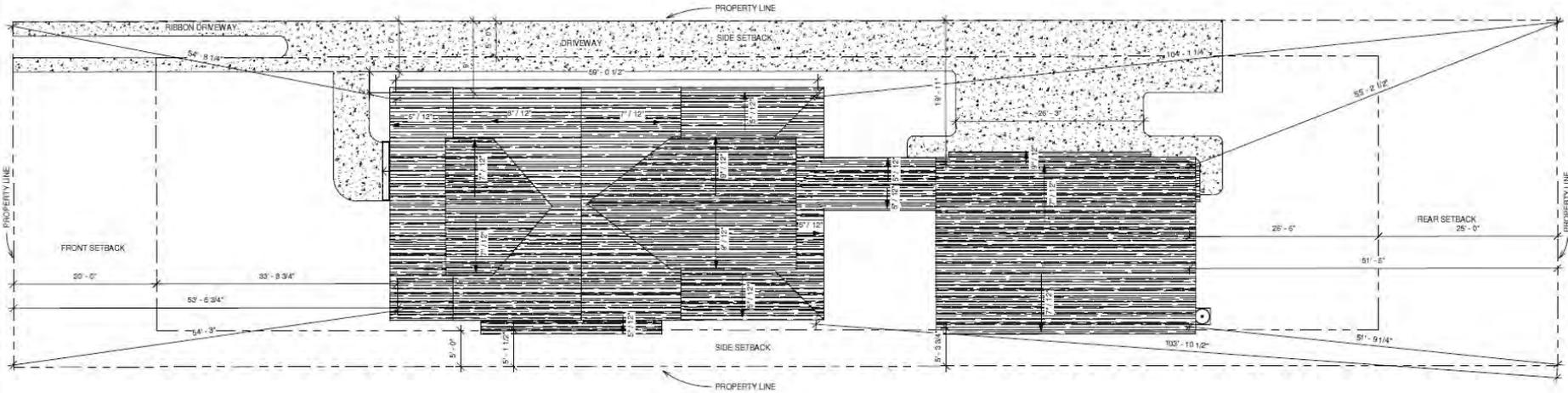
Application Information

Case # HZ-20-140 . 4912 Florida Avenue



Application Information

Case # HZ-20-140
4912 Florida Avenue



Application Information

Case # HZ-20-140
4912 Florida Avenue

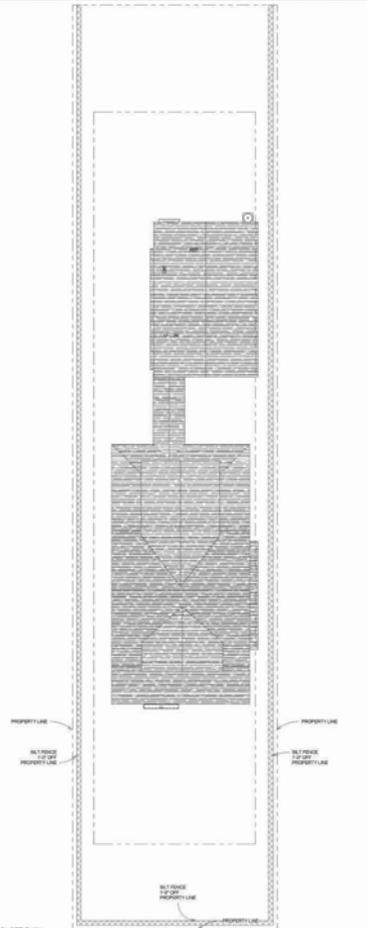


TABLE 1. CRITERIA FOR SILT FENCE PLACEMENT

CRITERIA FOR SILT FENCE PLACEMENT	
LAND SLOPE	MAXIMUM SLOPE LENGTH ABOVE FENCE (FT)
< 2	100
2 TO 5	75
5 TO 10	50
5 TO 10	25
> 20'	15

*IN AREAS WHERE THE SLOPE IS GREATER THAN 20% A CLEAR AREA LENGTH OF 10 FEET BETWEEN THE TOE OF THE SLOPE TO THE FENCE SHOULD BE PROVIDED

NOTE:
*ADDITIONAL EROSION CONTROL DEVICES SHALL BE USED AS REQUIRED.
*GRADING AND CLEARING SHALL BE KEPT TO A MINIMUM.
*SILT FENCE SHALL BE PLACED WITH CONTOURS.
*MAXIMUM DISTURBED AREA FOR CONSTRUCTION OF HOMES 1.0+ ACRE PER LOT

Application Information

Case # HZ-20-140
4912 Florida Avenue



① Front Elevation
1/4" = 1'-0"

Application Information

Case # HZ-20-140
4912 Florida Avenue



3 Rear Elevation Garage
1/4" = 1'-0"

CURATE

4912 Florida A
ELEVATION

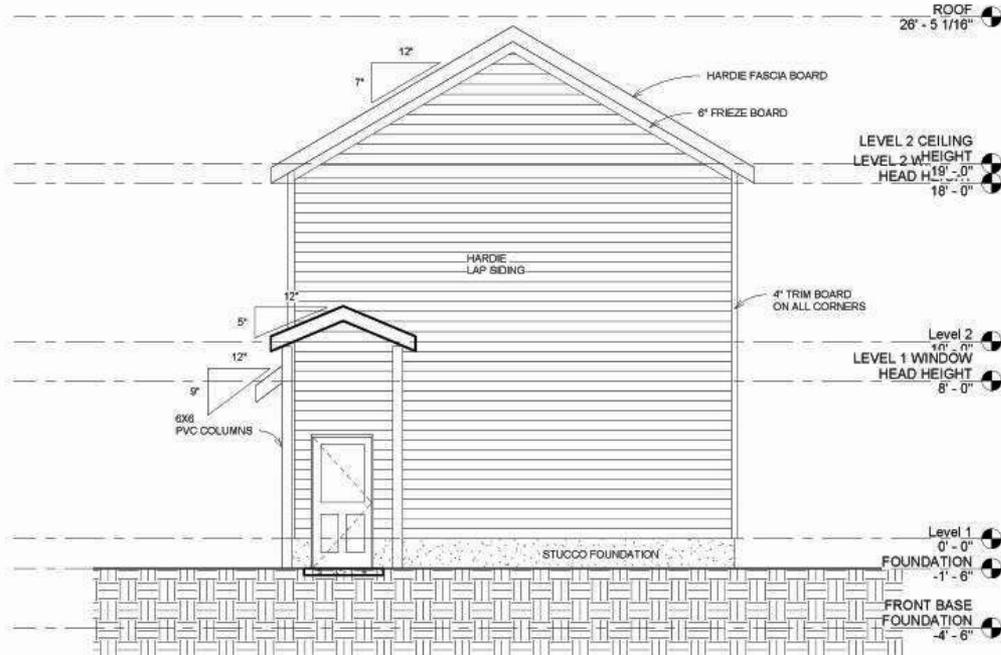
Project Number 1
Date
Drawn By
Checked By

A2.0

Scale

Application Information

Case # HZ-20-140
4912 Florida Avenue



4 Front Elevation Garage
1/4" = 1'-0"

Application Information

Case # HZ-20-140

4912 Florida Avenue



2 Right Elevation
1/4" = 1'-0"

CL
LEVEL 2 C...
WWW
19' - 0"
Consultant
Address
Address
Address
Phone
Consultant
Address
Address
Address
Phone
Consultant
Address
Address
Address
Phone
Consultant
Address
Address
Address
Phone

Application Information

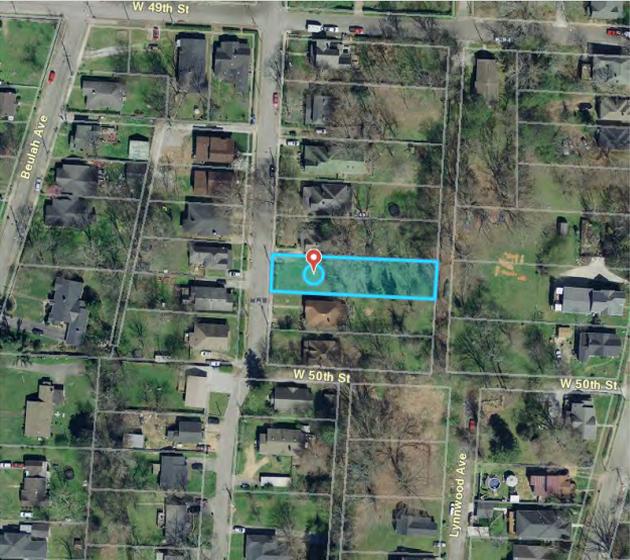
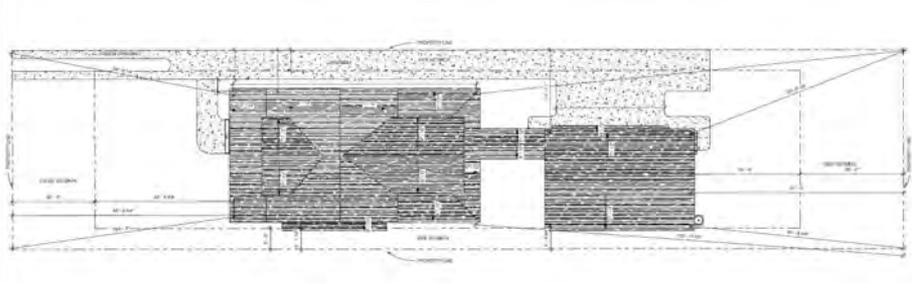
Case # HZ-20-140
4912 Florida Avenue

Material List

- 1- Asphalt Dimensional Shingles
- 2- Plygem Wood Windows
- 3- Brick Front and Sides Foundation; Stucco Rear
- 4- 4 Lite Fiberglass Front Door
- 5- Full Lite Steel Rear Door
- 6- Front 8x8 Fiberglass Wrapped columns
- 7- 6" Aluminum gutters and downspouts
- 8- 6" Reveal Hardie Siding Painted onsite and Board & Batten Gables
- 9- Hardie Soffit and Trim Painted onsite
- 10- Landscaping to be Sod front, rear and side yards
- 11- Ribbon driveway leading to side loading attached garage
- 12- Tongue and groove porch ceiling
- 13- Concrete Front Porch with Brick Steps/Metal Handrails (as necessary for code)
- 14- Wood Rear Deck/ Steps/Handrails

New Construction Setback Study

Case # HZ-20-140 . 4912 Florida Avenue



Relevant Saint Elmo Guidelines:

Case # HZ-20-140
4912 Florida Avenue

Page 41. Section 6.9. Design Guidelines: Driveways and Paving

Page 52. Section 6.22. Design Guidelines: New Construction (New Building)

A. *Of primary buildings should maintain, not disrupt, the existing pattern of surrounding historic buildings along the street by being similar in:*

1. *Shape*
2. *Scale (height and width)*
3. *Roof shape and pitch*
4. *Orientation to the street*
5. *Location and proportion of porches, entrances, windows, and divisional bays*
6. *Foundation height*
7. *Floor-to-ceiling heights*
8. *Porch height and depth*
9. *Material and material color (foundations, brick/frame dwellings, windows)*
10. *Details and texture*
11. *Placement on the Lot*

B. *Of primary buildings, while blending in with adjacent buildings, should not be too imitative of historic styles so that new buildings can distinguished from historic buildings.*

Page 58. Section 6.24. Design Guidelines: Parking Areas

Page 67. Section 6.32. Design Guidelines: Sidewalks and Walkways

Staff Report

Case # HZ-20-140 . 4912 Florida Avenue

Elements Consistent with Guidelines:

Driveways and Paving

Parking Areas

Sidewalks and Walkways

Recommended Application Clarification or Changes:

Building, New Construction:

Guidelines location: Page 54. Section 6.22. Design Guidelines: New Construction (New Building)

A. *Of primary buildings should maintain, not disrupt, the existing pattern of surrounding historic buildings along the street by being similar in:*

5. *Location and proportion of porches, entrances, windows, and division bays. “New windows should be rectangular sash whose proportions on the main façade should not exceed three-to-one in a height to width ratio or be any less than two to one in height-to-width (two to one proportions are preferred).”*

In section 6.22. Design Guidelines: New Construction (New Building) of the Guidelines “The general approach to new construction is for it to be contemporary in design but compatible with adjacent buildings. Contemporary means clearly built of the present-day period so that the new buildings can be distinguished from those which are historic. Compatible means reinforcing typical features that buildings display along the block such as similar roof forms, materials, window and door sizes and placement, porch size and location, and foundation heights.” Most homes on both sides of the street, in this block, contain vertically oriented and proportioned windows. Please explain how this structure will integrate into the street relative to this difference in the window proportions.

Note: The R-1 Zoning does not allow two full living units on this property, therefore a second full kitchen is not to be built.



Case # HZ-20-140
4912 Florida Avenue

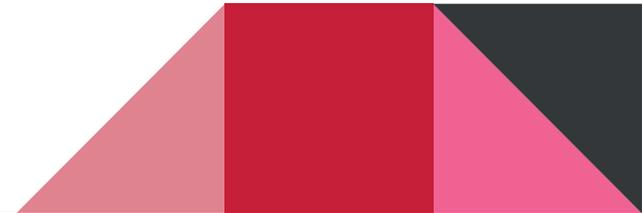
Applicant Presentation (10 minutes maximum)

Community Comments & Comments by Other Persons

(3 minutes maximum per person)

Case # HZ-20-140
4912 Florida Avenue

Please raise your hand in Zoom if you would like to speak.





Case # HZ-20-140
4912 Florida Avenue

**Applicant Response (5 minute maximum)
Historic Zoning Commission Discussion
Motion and Vote**

Case # HZ-20-142

4601 Alabama Avenue

Neighborhood: Saint Elmo

Historic Structure: No, built in 2019.

Description of proposed project:

- Building addition on a side patio
- New shutters



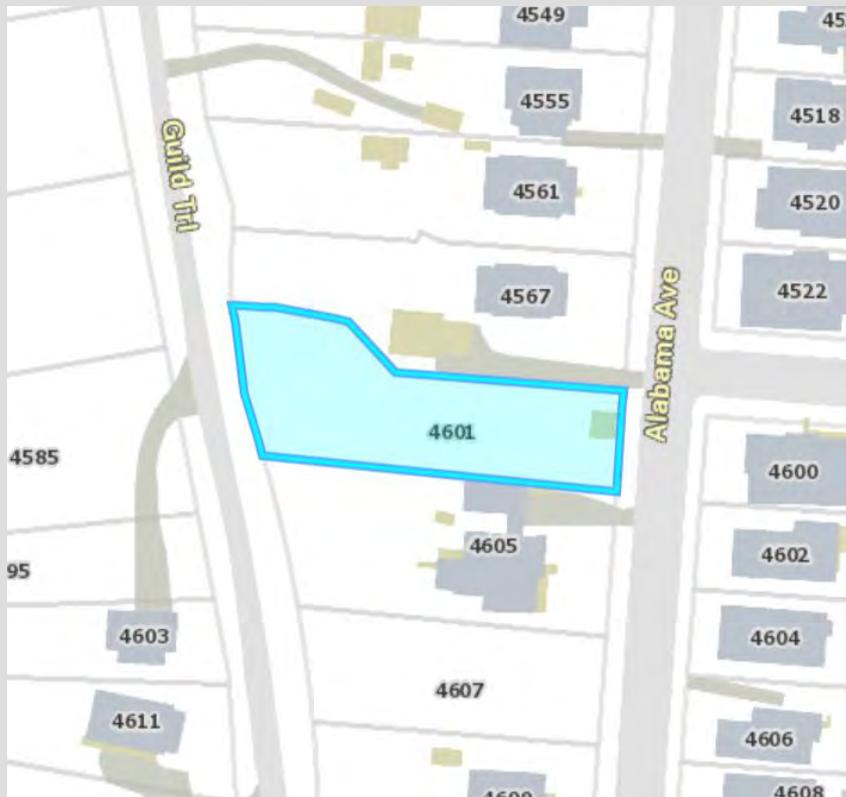
Historic Zoning History:

COA 19-HZ-00134. CHZC APPROVED: As submitted in the application for the new construction of a primary structure and demolition of a non-original outbuilding.

CONDITIONS: Driveway entrance shall have matching column and match material of existing. Dormer shall have shed roof. Cat slide slope shall be limited from eave to opposite eave and not exceed 2nd story window head height. Parking area shall not be placed in front of house. Roof materials shall be consistent shingles except for front bay window and 4' side porch entrance. Changes must be submitted in new drawings submitted to staff before COA is issued.

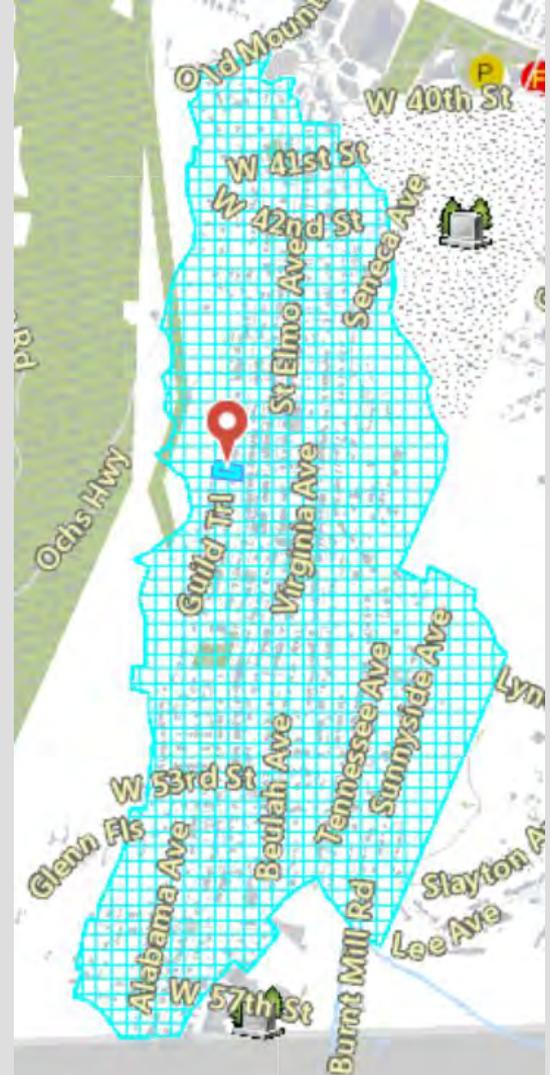
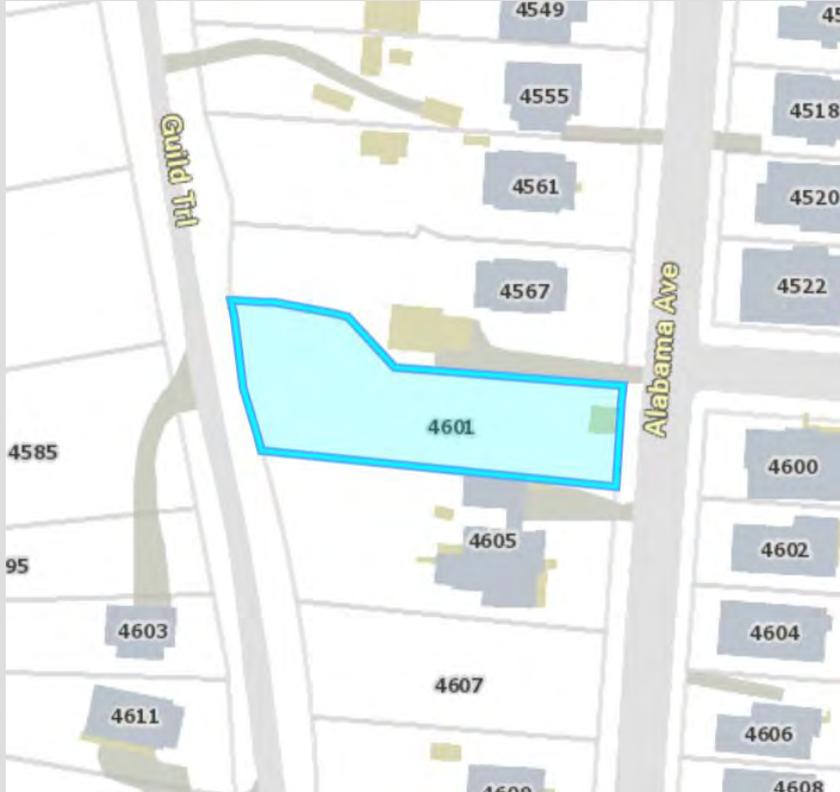
Map Location

Case # HZ-20-142
4601 Alabama Avenue



Map Location

Case # HZ-20-142
4601 Alabama Avenue



Property Photos

Case # HZ-20-142
4601 Alabama Avenue



Property Photos

Case # HZ-20-142
4601 Alabama Avenue

PROPERTY PHOTOS



FRONT

SMALL ROOF
REMOVED FOR
LARGER ROOF
STRUCTURE

PATIO
LOCATION

PROPERTY ADDRESS:
4601 ALABAMA AVENUE
CHATTANOOGA, TN 37409



RIGHT SIDE

Adjacent Property Photos

Case # HZ-20-142
4601 Alabama Avenue

NEIGHBORING PROPERTIES



RIGHT SIDE



LEFT SIDE

PROPERTY ADDRESS:
4601 ALABAMA AVENUE
CHATTANOOGA, TN 37409



OPPOSITE STREET SIDE

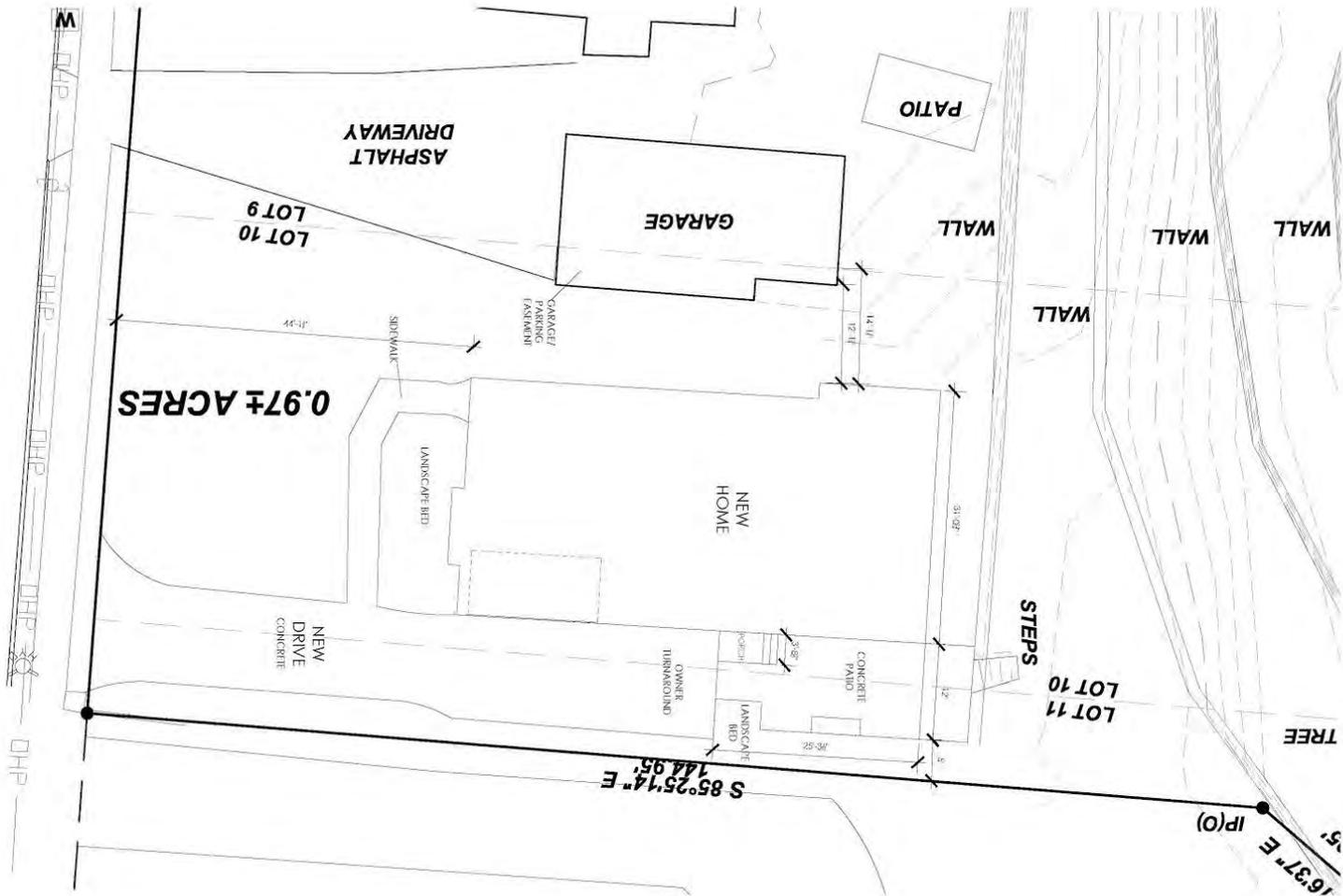
Application Information

Case # HZ-20-142
4601 Alabama Avenue

1
A1.1

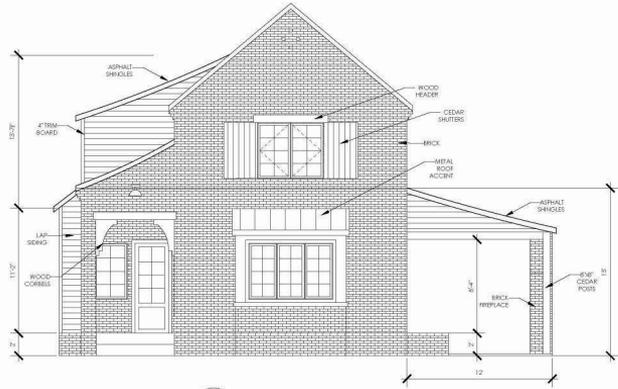
SITE PLAN

1/8"=1'-0"

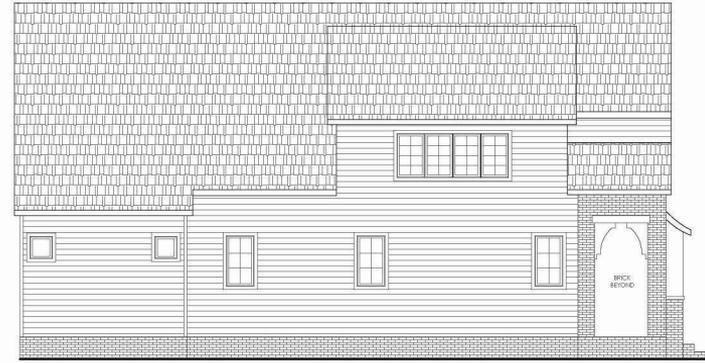


Application Information

Case # HZ-20-142
4601 Alabama Avenue



1 FRONT ELEVATION
A3.1 1/4"=1'-0"



2 LEFT ELEVATION
A3.1 1/4"=1'-0"



1 REAR ELEVATION
A3.1 1/4"=1'-0"



2 RIGHT ELEVATION
A3.1 1/4"=1'-0"

ISSUE	DATE
CONTRACT	09/2011
COMMERCIAL	01/2012
POUCH ADDRESS	06/2012



REFLECTIVE @ ALABAMA

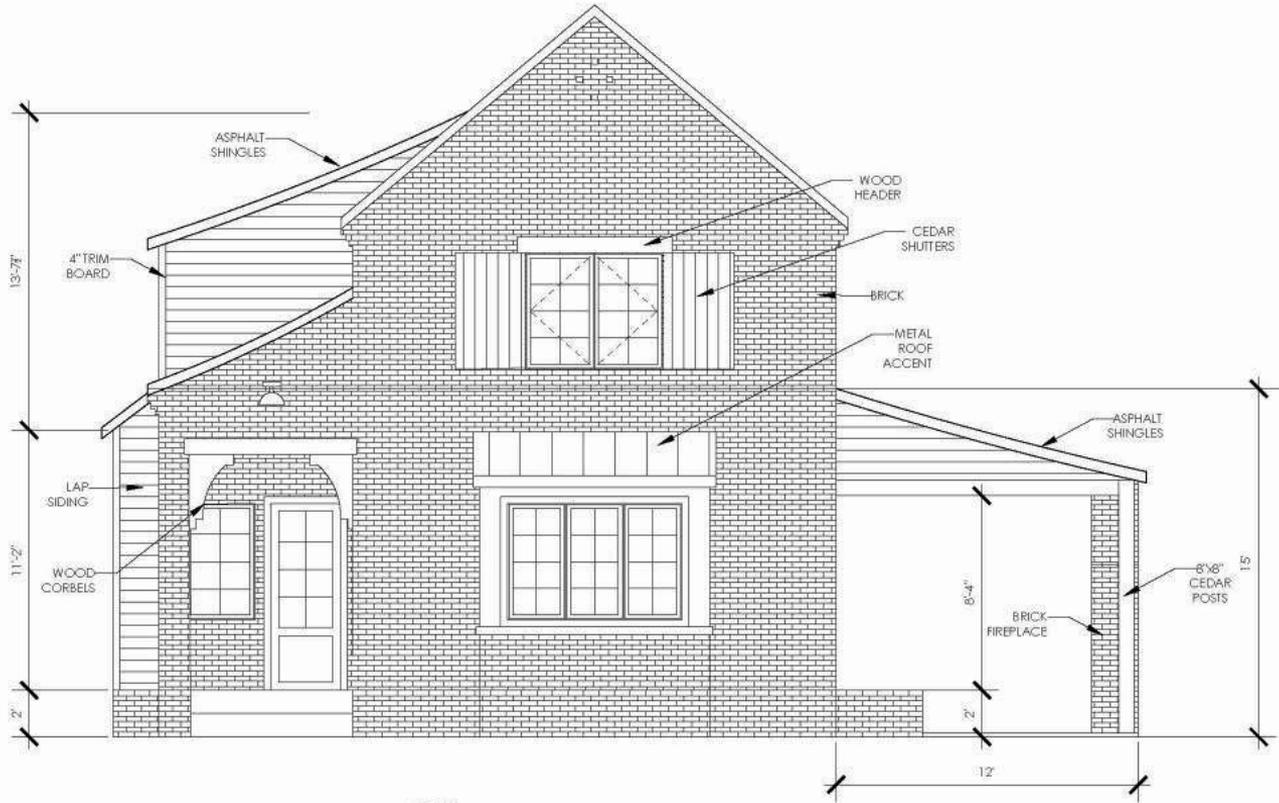
4601 ALABAMA AVENUE
CHATTANOOGA, TENNESSEE 37409

CONTRACT #	1466
DRAWN BY	DL
SCALE	AS SHOWN
SHEET FILE	
ELEVATION	

A3.1

Application Information

Case # HZ-20-142
4601 Alabama Avenue



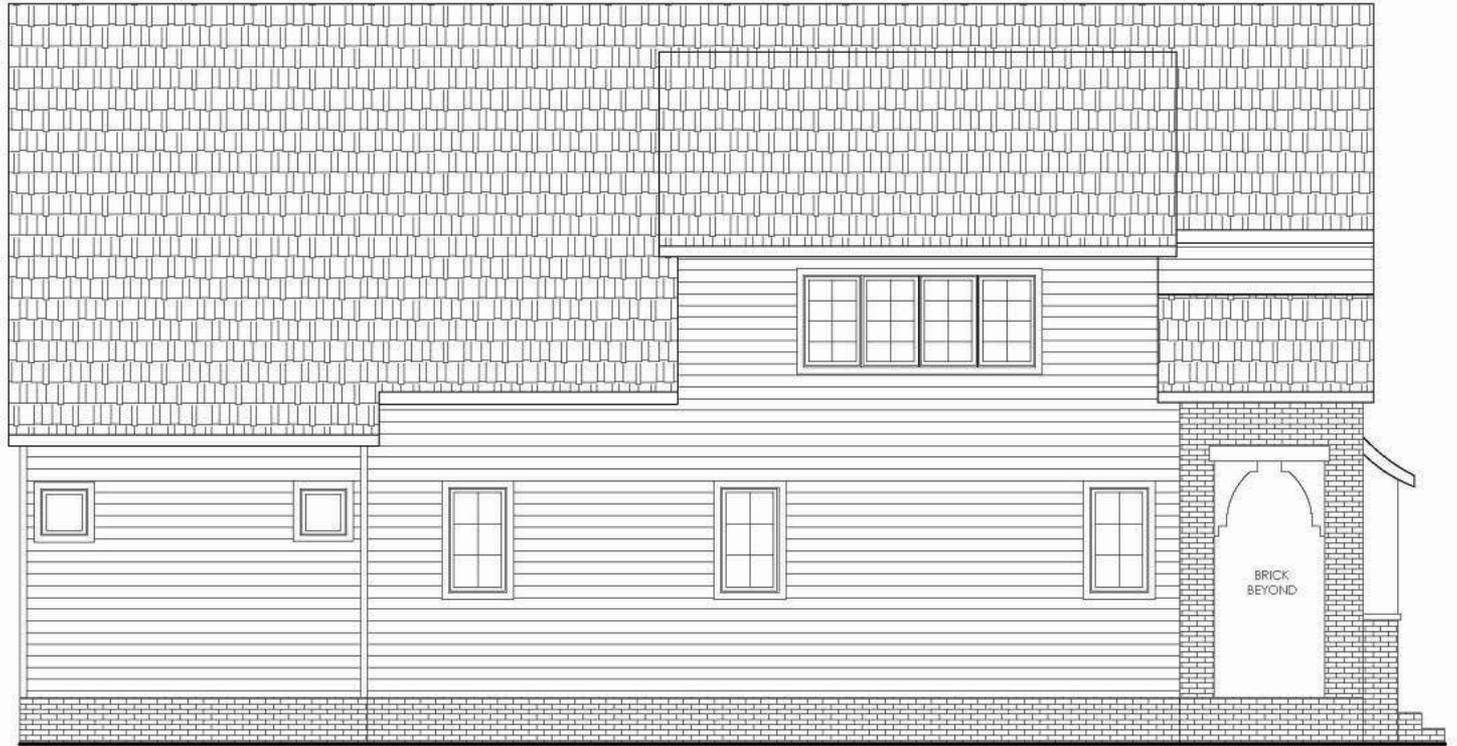
1
A3.1

FRONT ELEVATION

1/4" = 1'-0"

Application Information

Case # HZ-20-142
4601 Alabama Avenue



2
A3.1

LEFT ELEVATION

1/4"=1'-0"

Application Information

Case # HZ-20-142
4601 Alabama Avenue



1
A3.1

REAR ELEVATION

1/4"=1'-0"

Application Information

Case # HZ-20-142
4601 Alabama Avenue



2
A3.1

RIGHT ELEVATION

1/4"=1'-0"

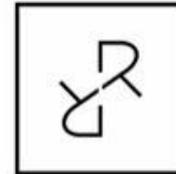
Application Materials List

Case # HZ-20-142
4601 Alabama Avenue

PROPERTY ADDRESS:
4601 ALABAMA AVENUE
CHATTANOOGA, TN 37409

EXTERIOR MATERIALS

LAP	ALL MATERIALS TO BE HARDIE BOARD – 5" PLANK
TRIM, SOFFITS	ALL MATERIALS TO BE HARDIE BOARD – 4" TRIM BOARD
POSTS	CEDAR STAINED
PORCH CEILING	TONGUE & GROOVE
GUTTERS	SEAMLESS ALUMINUM
ROOFING	ARCHITECTURAL SHINGLE
PORCH & WINDOW HEADERS	WOOD *SELECT LOCATIONS PER PLAN*
PATIO TOP	CONCRETE
SHUTTERS	CEDAR



Relevant Saint Elmo Guidelines:

Case # HZ-20-142 . 4601 Alabama Avenue

Page 33. Section 6.1. Design Guidelines: Addition

Page 59. Section 6.25. Porches, Porch Columns and Railings

Page 66. Section 6.31. Design Guidelines: Shutters

Staff Report

Case # HZ-20-142 . 4601 Alabama Avenue

Elements Consistent with Guidelines:

Building addition on a side patio

Recommended Application Clarification or Changes:

Design Guidelines: Shutters:

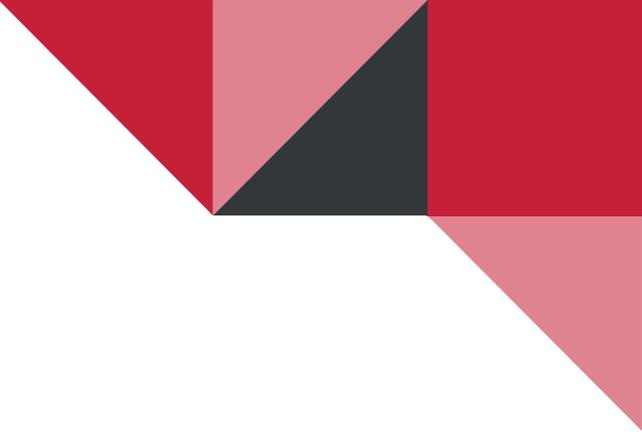
Guidelines location: Page 66. Section 6.31. Design Guidelines: Shutters

Most ornamental shutters available today are not appropriately sized or of the right materials. The addition of new shutters should only be of wood and with dimensions which match the window opening. ...

B. Should not be added unless the building originally had them, the shutters are of louvered wood construction, and the shutters will fit the window opening (so that if closed, they would cover the window opening).

C. Of vinyl construction are not appropriate. These shutters generally have exaggerated wood graining which is not convincing and compatible with historic dwellings.

Please clarify if the proposed cedar shutters are decorative or of louvered wood construction, and will the shutters will fit the window opening (so that if closed, they would cover the window opening)?



Case # HZ-20-142
4601 Alabama Avenue

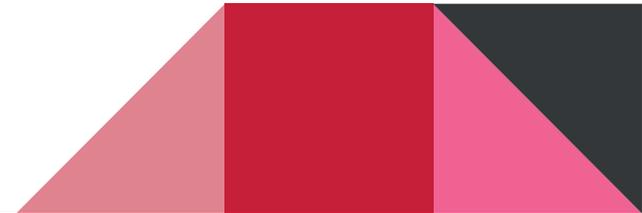
Applicant Presentation (10 minutes maximum)

Community Comments & Comments by Other Persons

(3 minutes maximum per person)

Case # HZ-20-142
4601 Alabama Avenue

Please raise your hand in Zoom if you would like to speak.





Case # HZ-20-142
4601 Alabama Avenue

**Applicant Response (5 minute maximum)
Historic Zoning Commission Discussion
Motion and Vote**

Case # HZ-20-143

5010 Tennessee Avenue

Neighborhood: Saint Elmo

Historic Structure: No, vacant lot

Description of proposed project:

- New Construction of a primary structure with a detached carport
 - New walkway, driveway and parking pad
-

Historic Zoning History:

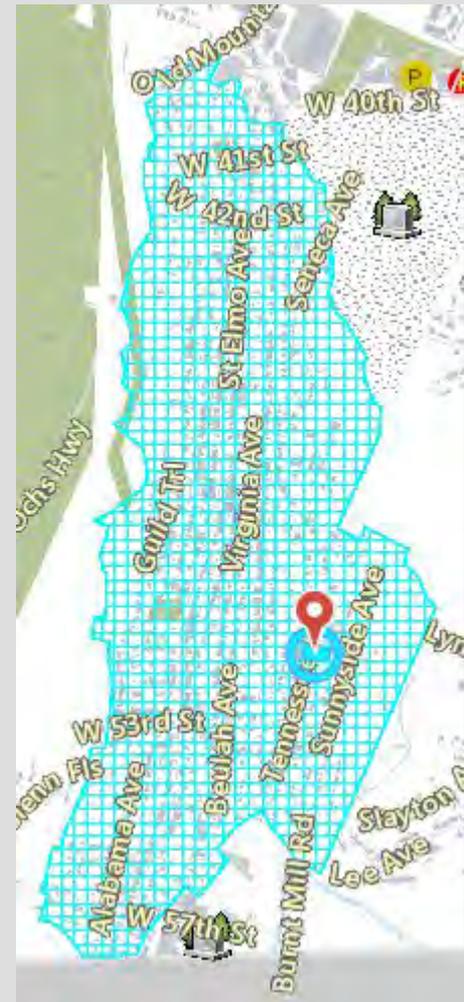
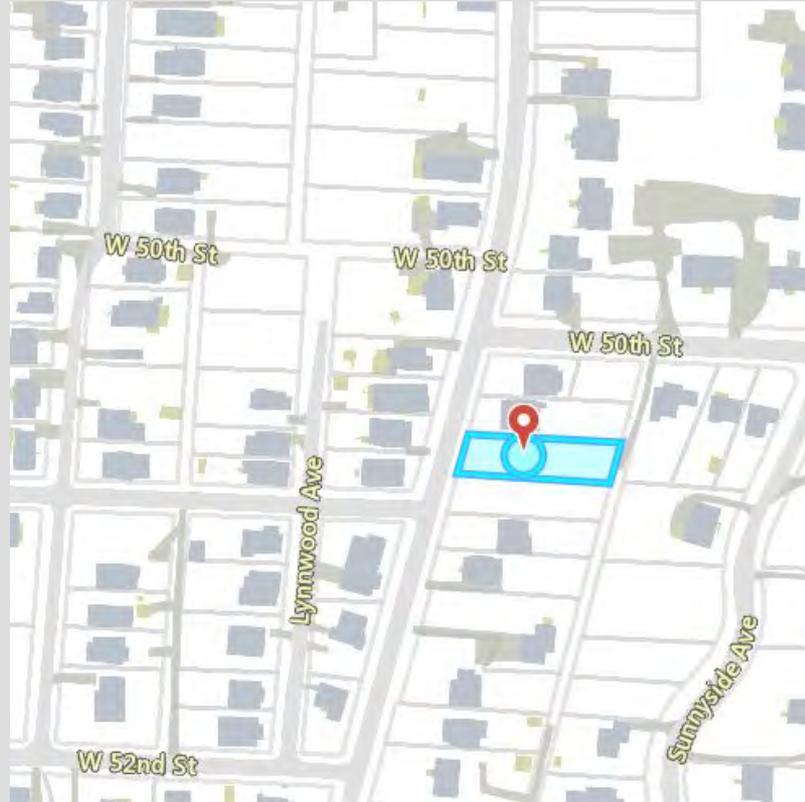
COA HZ-17-123 (17-HZ-00125): APPROVED by CHZC: APPROVED: New construction of single family dwelling. CONDITIONS: Shed dormer window to be square or vertical and centered in shed.

COA HZ-19-48 (19-HZ-00047): APPROVED by STAFF: REISSUE 17-ZH-00125: As submitted in the original application and the referenced COA states: APPROVED: New construction of single family dwelling. CONDITIONS: Shed dormer window to be square or vertical and centered in shed.

COA HZ-19-92 (19-HZ-00095): APPROVED by STAFF: As submitted in the application for changes to a current COA to include a change in the contemporary window material from all clad to fiberglass, siding change from vertical to horizontal lap (6 inch reveal), front door change from ¾ lite to contemporary vertical pane fiberglass door, and slight window changes for egress. All changes are noted on the application and drawings. All changes are consistent with the approved style of the home.

Map Location

Case # HZ-20-143
5010 Tennessee
Avenue



Application Description of Work and Material List

Case # HZ-20-143 . 5010 Tennessee Avenue

Description of Work

The new construction home was approved in 2018 by the HC with a different design. Construction began with the house footprint and the current owner bought the project after footers and some blockwork were complete. Taking the current home foot print, the owner has redesigned the exterior from more modern design element to a craftsman style and reoriented the floor plan and extended the front of the home and added a carport. The home placement takes advantage of the grade and allows for panoramic views of Lookout mountain. A goal is to maintain as many of the older trees on the property.

The home will be 2 story craftsman in design and use the topography to maximize the views by placing home near rear alleyway access.

5010 Tennessee Ave – COA Materials List

Hardie Lap Siding and exterior trim, Painted Finish, 6" exposure, or similar siding.

Windows PlyGem 200 Series Wooden Double Hung Windows with vinyl cladding or similar wooden window.

Window trim to have 3.5" vertical trim, 5.5" header with 2" cap trim of Masonite material.

Front Exterior Door - Wooden

Application Description of Work and Material List

Case # HZ-20-143 . 5010 Tennessee Avenue

- 12"SL/ 36"LH Inswing /12"SL x 1 1 EA
- 6'8"H w/12"H Rectangle Transom:
- Door= S92-SDLLE (3/4 glass over single panel) with 3W4H 1-1/4"
- Sidelite= S82SL-SDLE (3/4 glass over panel) w/ 1W4H 1-1/4" SDL
- Transom= 6012-RECT-LE w/ 5W1H
- All glass is Low-E Insulated
- {R/O= 64-1/2"W x 96"H}
- [Unit= 63-5/8"W x 95-1/2"H}
- Rear Exterior Door –
- Thermatru ½ lite exterior door, paint finish, installed in Endura framesaver door frame.
- Roofing to be Owens Corning Trudefinition Architectural shingles, or similar roofing
- Gable trim (starburst and roof brackets) to be treated wood and painted/stained
- Stucco finish on all exposed exterior foundation walls
- Treated wood porch decking, columns, stairs and handrails
- Columns to be 6x6 pressure treated wood
- Porch ceiling to be bead board (stained)
- Railings and Railing Cap to be 2x4. Vertical balusters to be 1.5" x 1.5"
- Carport –
- 6x6 treated wood columns and treated wood starburst. Roof matching architectural shingles of house.
- poured concrete for driveway and sidewalk to carport and to home.

Application Description of Work and Material List

Case # HZ-20-143 .
5010 Tennessee
Avenue



Porch handrails and picket detail

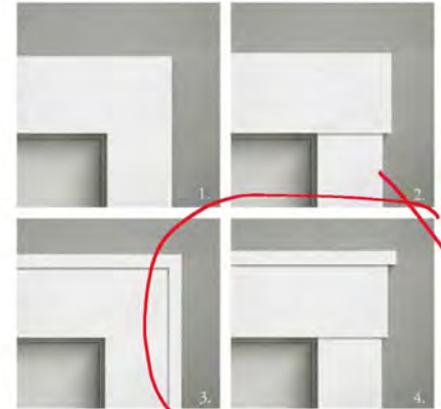


Front porch gable design and columns

Photos of styles.



Front door style



TRIM BOARD CASING

Window Trim Style

Application Description of Work and Material List

Case # HZ-20-143 .
5010 Tennessee
Avenue

- i. 5010 Tennessee Ave – COA Materials List
 1. Hardie Lap Siding and exterior trim, Painted Finish, 6" exposure, or similar siding.
 2. Windows PlyGem 200 Series Wooden Double Hung Windows with vinyl cladding or similar wooden window.
 - a. Window trim to have 3.5" vertical trim, 5.5" header with 2" cap trim of Masonite material.
 3. Front Exterior Door - Wooden
 - a. 12"SL/ 36"LH Inswing /12"SL x 1 1 EA
6'8"H w/12"H Rectangle Transom:
Door= S92-SDLLE (3/4 glass over single panel) with 3W4H 1-1/4"
Sidelite= S82SL-SDLE (3/4 glass over panel) w/ 1W4H 1-1/4" SDL
Transom= 6012-RECT-LE w/
5W1H
All glass is Low-E Insulated
{R/O= 64-1/2"W x 96"H}
[Unit= 63-5/8"W x 95-1/2"H]
 4. Rear Exterior Door –
 - a. Thermatru ½ lite exterior door, paint finish, installed in Endura framesaver door frame.
 5. Roofing to be Owens Corning Trudefinition Architectural shingles, or similar roofing
 - a. Gable trim (starburst and roof brackets) to be treated wood and painted/stained
 6. Stucco finish on all exposed exterior foundation walls
 7. Treated wood porch decking, columns, stairs and handrails
 - a. Columns to be 6x6 pressure treated wood
 - b. Porch ceiling to be bead board (stained)
 - c. Railings and Railing Cap to be 2x4. Vertical balusters to be 1.5" x 1.5"
 8. Carport –
 - a. 6x6 treated wood columns and treated wood starburst. Roof matching architectural shingles of house.
 - b. poured concrete for driveway and sidewalk to carport and to home.

Property Photos

Case # HZ-20-143

5010 Tennessee Avenue



5010 Tenn Avenue (Project Site)

Adjacent Property Photos

Case # HZ-20-143
5010 Tennessee Avenue



5002 Tennessee Ave – Property to the Let of Project site

Adjacent Property Photos

Case # HZ-20-143
5010 Tennessee Avenue



5100 Tennessee Ave (Property to the Right of Project Site)

Adjacent Property Photos

Case # HZ-20-143
5010 Tennessee Avenue



5011 Tennessee Avenue (property across street from project site)

Adjacent Property Photos

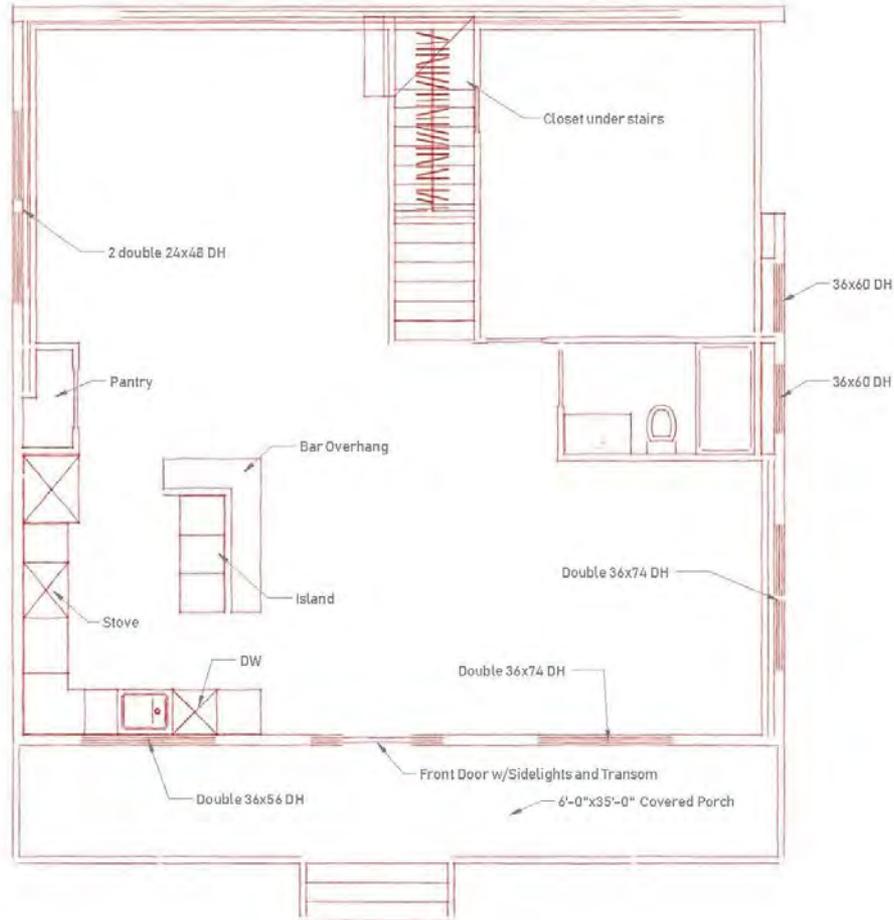
Case # HZ-20-143
5010 Tennessee Avenue



4904 and 4906 Tennessee Avenue (properties on street in back of lot with elevation)

Application Information

Case # HZ-20-143
5010 Tennessee Avenue



Application Information

Case # HZ-20-143
5010 Tennessee Avenue



Application Information

Case # HZ-20-143
5010 Tennessee Avenue



1 Front Elevation
ELA
Scale 1/4"

SLOTH

DRAWN BY
SUF

ISSUE
5/19/2020

PROJECT
5010 Tennessee Ave

ADDRESS
Chattanooga TN 37409

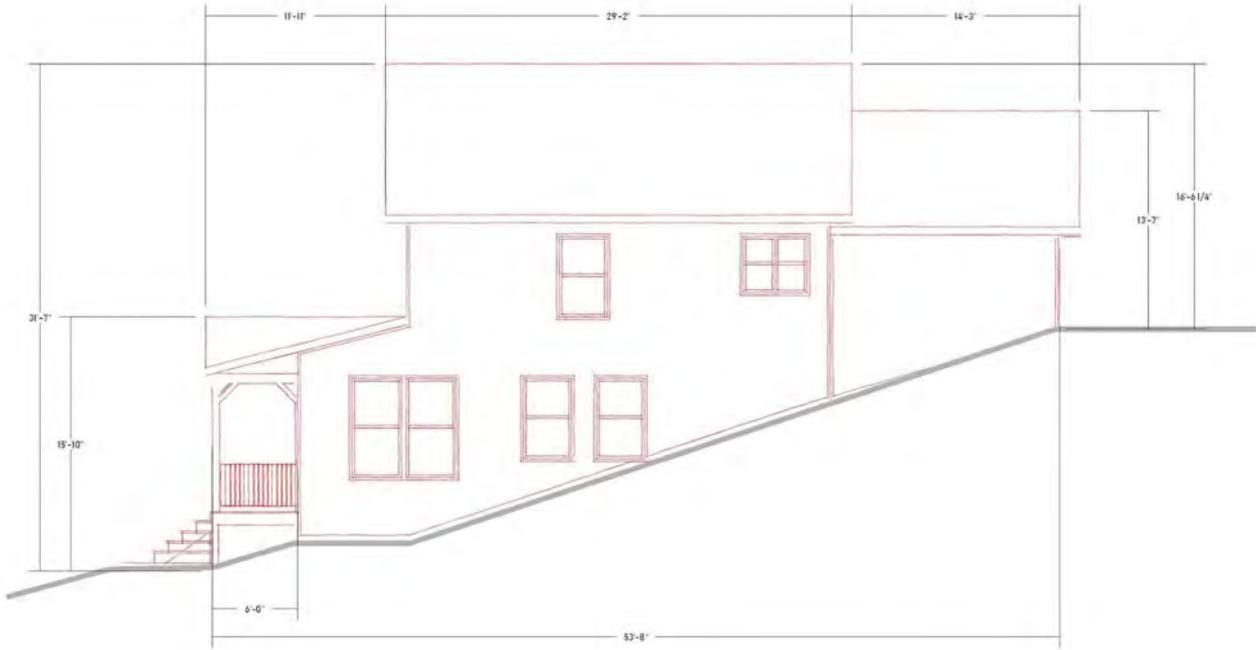
DESCRIPTION

HC Pres

EL1

Application Information

Case # HZ-20-143
5010 Tennessee Avenue



1 Right Elevation
EL2

SIDPH

DRAWN BY
SOF

ISSUE
5/19/2020

PROJECT
5010 Tennessee Ave

ADDRESS
Chattanooga TN 37409

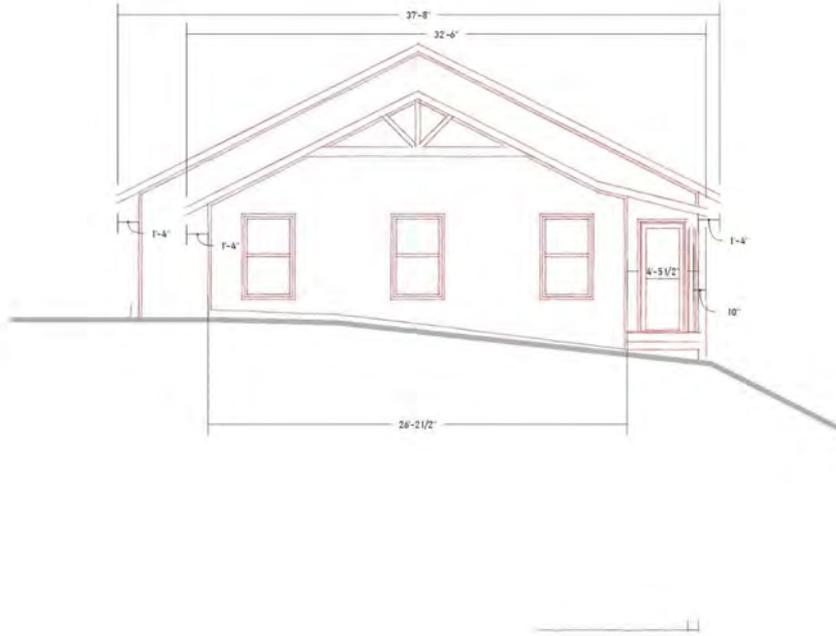
DESCRIPTION

HC Pres

EL2

Application Information

Case # HZ-20-143
5010 Tennessee Avenue



1
EL3
Rear Elevation
Date: 1/4

SIDDM

DRAWN BY
SOFL

ISSUE
3/19/2020

PROJECT
5010 Tennessee Ave

ADDRESS
Chattanooga TN 37409

DESCRIPTION

HO Pres

EL3

Application Information

Case # HZ-20-143
5010 Tennessee Avenue



1 Left Elevation
EL4 Issue 144

SLOTH

DRAWN BY
SOFL

ISSUE
3/19/2020

PROJECT
5010 Tennessee Ave

ADDRESS
Chattanooga TN 37409

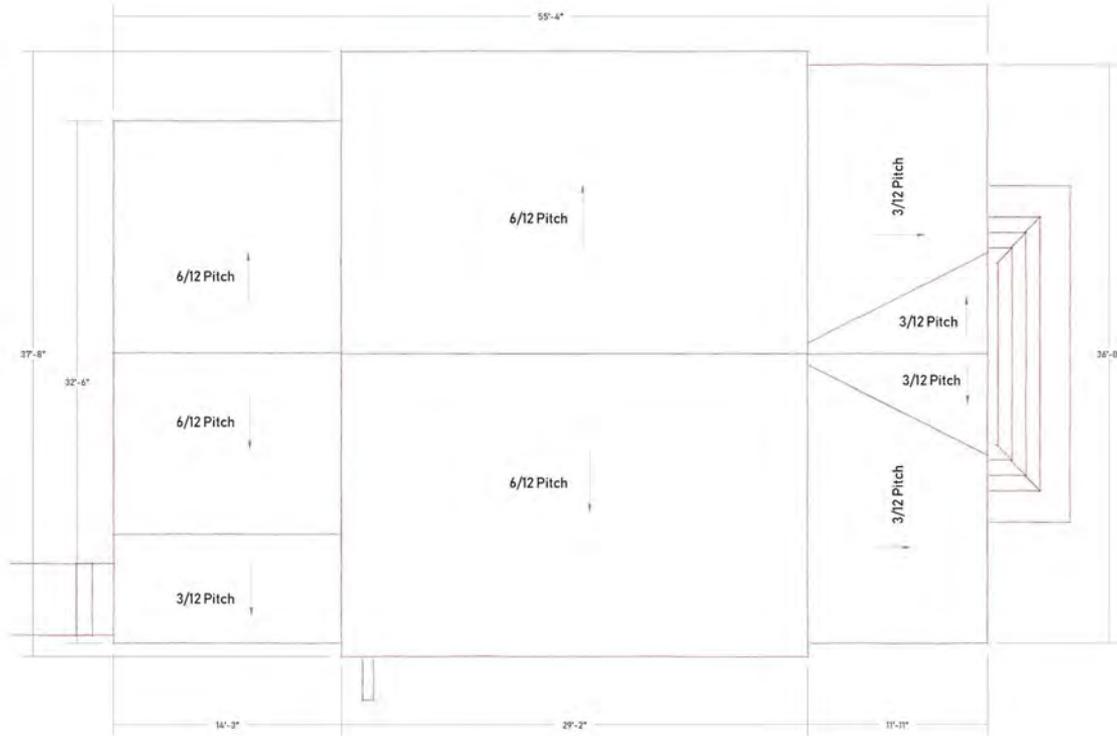
DESCRIPTION

HC Pres

EL4

Application Information

Case # HZ-20-143
5010 Tennessee Avenue



1 Roof Plan
EL5
Scale: 1/8"

S107M

DRAWN BY
SFL

DATE
6/4/2020

PROJECT
5010 Tennessee Ave

ADDRESS
Chattanooga TN 37409

DESCRIPTION

HC Pres

EL5

Application Information

Case # HZ-20-143
5010 Tennessee Avenue



1 Site Implantation
Bx Scale: 1/8" = 1'-0"

SIDPM

DRAWN BY
SOFL

DATE
8/4/2020

PROJECT
5010 Tennessee Ave

ADDRESS
Chattanooga TN 37409

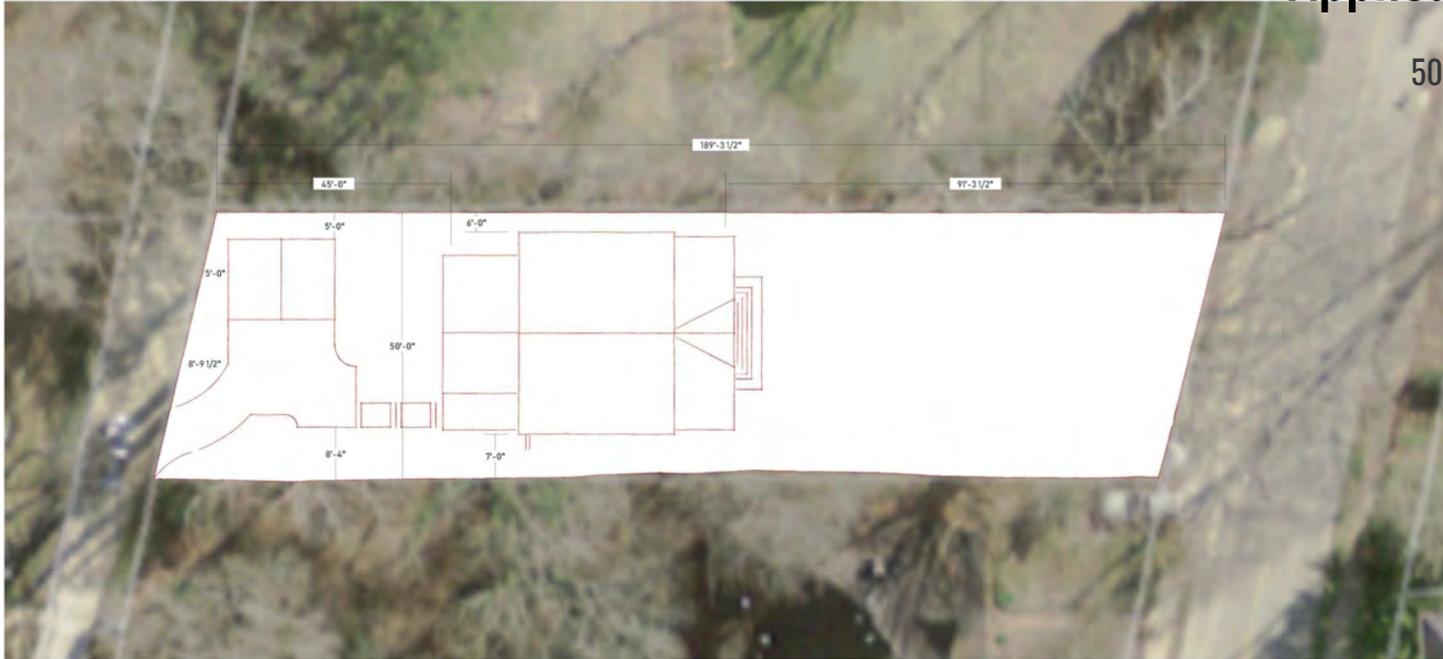
DESCRIPTION

HC Pres

S1

Application Information

Case # HZ-20-143
5010 Tennessee Avenue



1 Set Backs
8/24 Scale: 1/8"=1'-0"

SIDPM

DRAWN BY
SOFL

ISSUE
8/4/2020

PROJECT
5010 Tennessee Ave

ADDRESS
Chattanooga TN 37409

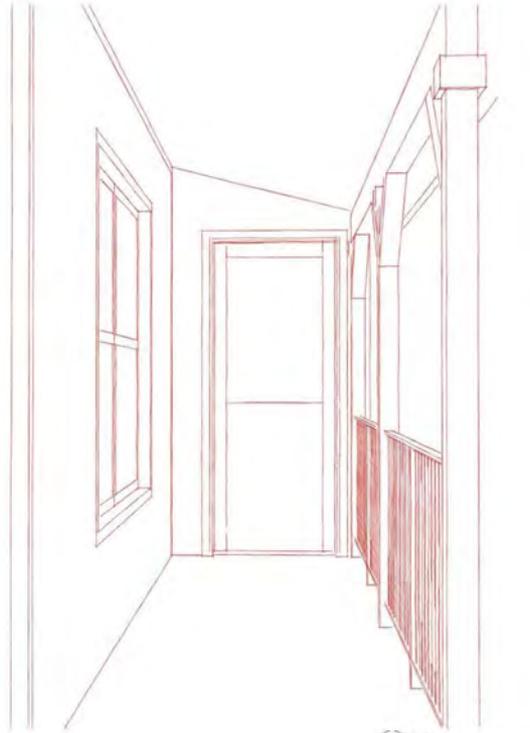
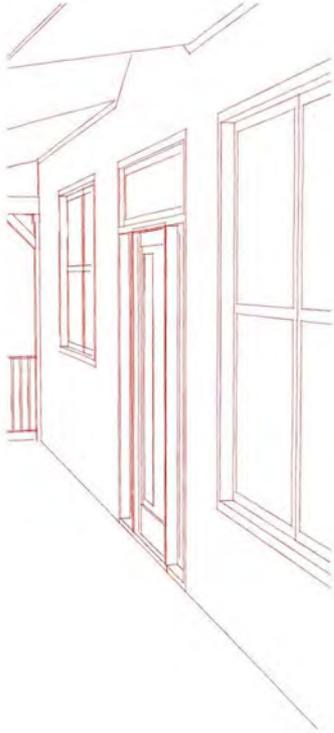
DESCRIPTION

HC Pres

S2

Application Information

Case # HZ-20-143
5010 Tennessee Avenue



1 3D
A4 30' to Scale

SLOTH

DRAWN BY
SOF

ISSUE
8/19/2020

PROJECT
5010 Tennessee Ave

ADDRESS
Chattanooga TN 37409

DESCRIPTION

HC Pres

A1

Application Information

Case # HZ-20-143
5010 Tennessee Avenue



1 3D
A2 30 Not Scale

SIDPM

DRAWN BY
SFL

ISSUE
3/4/2020

PROJECT
5010 Tennessee Ave

ADDRESS
Chattanooga TN 37409

DESCRIPTION

HC Pres

A2

Application Information

Case # HZ-20-143
5010 Tennessee Avenue



SIDPM

DRAWN BY
SOFL

ISSUE
5/14/2020

PROJECT
5010 Tennessee Ave

ADDRESS
Chattanooga TN 37409

DESCRIPTION

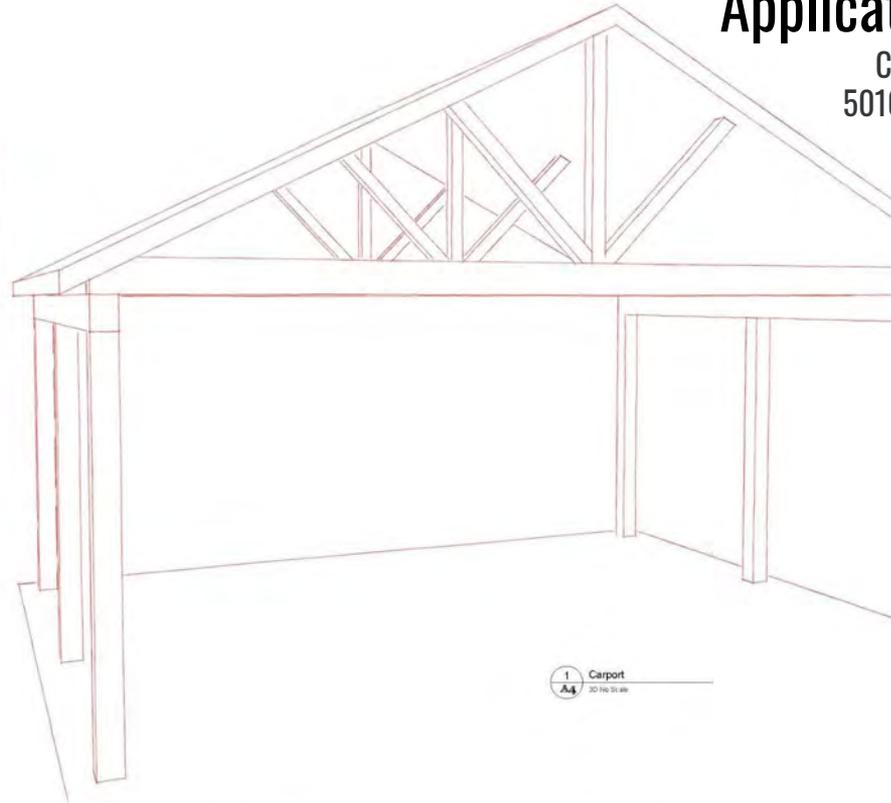
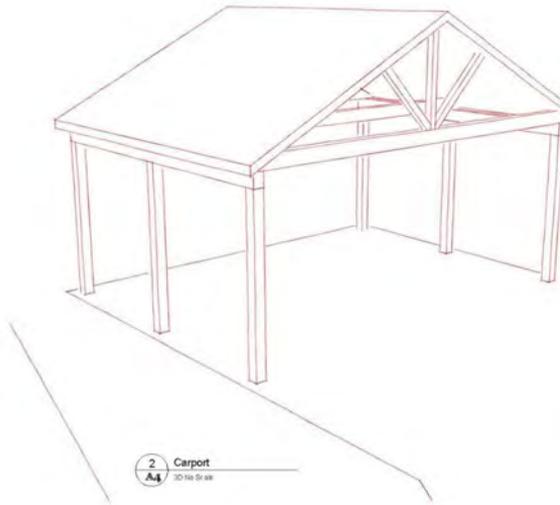
HC Pres

1 30
A3 20 No Scale

A3

Application Information

Case # HZ-20-143
5010 Tennessee Avenue



SIDPH

DRAWN BY
SDFL

ISSUE
5/19/2020

PROJECT
5010 Tennessee Ave

ADDRESS
Chattanooga TN 37409

DESCRIPTION

HC Pres

A4

Application Information

Case # HZ-20-143
5010 Tennessee Avenue



1 Carport
A5 3D file size

SIDM

DRAWN BY
SOF

ISSUE
8/19/2020

PROJECT
5010 Tennessee Ave

ADDRESS
Chattanooga TN 37409

DESCRIPTION

HC Pres

A5



Application Information

New Construction

Setback Study

Case # HZ-20-143
5010 Tennessee Avenue

Relevant Saint Elmo Guidelines:

Case # HZ-20-143 . 5010 Tennessee Avenue

Page 41. Section 6.9. Design Guidelines: Driveways and Paving

Page 52. Section 6.22. Design Guidelines: New Construction (New Building)

A. *Of primary buildings should maintain, not disrupt, the existing pattern of surrounding historic buildings along the street by being similar in:*

1. *Shape*
2. *Scale (height and width)*
3. *Roof shape and pitch*
4. *Orientation to the street*
5. *Location and proportion of porches, entrances, windows, and divisional bays*
6. *Foundation height*
7. *Floor-to-ceiling heights*
8. *Porch height and depth*
9. *Material and material color (foundations, brick/frame dwellings, windows)*
10. *Details and texture*
11. *Placement on the Lot*

B. *Of primary buildings, while blending in with adjacent buildings, should not be too imitative of historic styles so that new buildings can distinguished from historic buildings.*

C. *Of secondary buildings such as garages, carports, and other outbuildings*

Page 58. Section 6.24. Design Guidelines: Parking Areas

Page 67. Section 6.32. Design Guidelines: Sidewalks and Walkways

Staff Report

Case # HZ-20-143 . 5010 Tennessee Avenue

Elements Consistent with Guidelines:

Driveways and Paving

Parking Areas

Sidewalks and Walkways

Recommended Application Clarification or Changes:

Building, New Construction:

Guidelines location: Page 54. Section 6.22. Design Guidelines: New Construction (New Building)

- A. *Of primary buildings should maintain, not disrupt, the existing pattern of surrounding historic buildings along the street by being similar in:*

“11. Placement on the lot. Front and side yard setbacks should respect the setbacks found along the block on which the building is sited.”

In section 6.22. Design Guidelines: New Construction (New Building) of the Guidelines the consistency of setbacks along the same side of the street is identified as important and should be respected. How is this proposed large front yard setback going to fit into the character of this block of Tennessee Avenue?



Case # HZ-20-143
5010 Tennessee Avenue

Applicant Presentation (10 minutes maximum)

**Comments by
Other Persons**
Case # HZ-20-143
5010 Tennessee
Avenue

CASE HZ-20-140 5010 TENNESSEE AVENUE

RELEVANT GUIDELINE: PAGE 52, SECTION 6.22 - DESIGN GUIDELINES -
"MAINTAIN/NOT DISRUPT THE EXISTING PATTERN OR SURROUNDING HISTORIC BUILDINGS"

PARAGRAPH A. SCALE.

THE HEIGHT OF 31 FEET, 7 INCHES IS OUT OF SCALE WITH THE IMMEDIATE SURROUNDING
NEIGHBORHOOD. THE HOUSE WILL BE INTRUSIVE. THIS HOUSE IS PLANNED FOR THE UPPER END OF THIS
WOODED LOT AND APPEARS TO BE OVERLY VISIBLE.

PARAGRAPH C. OF SECONDARY BUILDINGS SUCH AS GARAGES, CARPORTS, AND OTHER BUILDINGS.

THERE ARE NO CARPORTS IN THE IMMEDIATE NEIGHBORHOOD. A PARKING PAD WOULD BE A BETTER
FIT.

PARAGRAPH A. 11. PLACEMENT ON THE LOT

I AGREE WITH THE PLACEMENT ON THE LOT. THE HOUSE IS AN INTRUSION ON A FORMERLY WOODED
LOT, BUT ITS PLACEMENT IS CONSISTENT WITH THE VARIOUS SETBACKS IN THE NEIGHBORHOOD.

THIS SETBACK SUPPORTS THE GOAL OF MAINTAINING AS MANY LARGE TREES AS POSSIBLE AND SHOULD
BE APPROVED.

(NOTE: DUE TO POOR MANAGEMENT OF THE SITE UNDER THE PREVIOUS COA, A LARGE NUMBER OF TREES
WERE KILLED AND HAD TO BE REMOVED.)

THIS LOT IS VERY STEEP (I KNOW HISTORIC ZONING DOES NOT REGULATE STEEP SLOPES, BUT THIS
SETBACK GIVES SOME PROTECTION FOR A STEEP SLOPE BY MINIMALLY DISTURBING THE SLOPE.)

COMMENT - HZ-20-144 4300 TENNESSEE AVENUE

I AGREE WITH THE NEW GARAGE PROPOSED FOR 4300 TENNESSEE AVENUE AS A REPLACEMENT FOR A
PREVIOUS GARAGE.

THANK YOU.

TIM McDONALD

5019 SUNNYSIDE AVENUE

Comments by Other Persons

Case # HZ-20-143 . 5010 Tennessee Avenue

Sarah,

I will be unable to attend the meeting this week. I have concerns that I would like voiced during that time, however, regarding 4300 TN Ave.

First, I wanted to express that I agree with Tim McDonald on his comments regarding **CASE HZ-20-140 5010 TENNESSEE AVENUE**

In regards to **CASE - HZ-20-144 4300 TENNESSEE AVENUE...**

If the two story garage is **connected** to the house, does that allow them to add an apartment in the structure? While some houses and properties look suitable to allow an apartment, this property is highly historic and I would think that an apartment would detract from it's uniqueness, not to mention the property values of the surrounding houses that are so tightly placed around the proposed structure. I would never begrudge someone a half bath in their garage for their workshop or an office. I just want to be clear on the remodeler's intent here. Also, most homes in our area do not have the connector to the garage. If the new thought process in Historic Zoning is that a connector automatically means that an apartment is acceptable, then maybe connectors should not be allowed. However, what a wonderful thing it would be to have that connector in order to get in the house without being rained on and to tie the structures together. I wonder if either a decision needs to be made that connectors do not mean that apartments can be added or that we won't have connectors.

Otherwise, I am so super excited to see the work done on this old beauty. It is a crime that it was allowed to sit in disrepair for so long!

Thanks, Sarah!
Alison Van Winkle
4907 Guild Trail

Comments by Other Persons

Case # HZ-20-143
5010 Tennessee Avenue

Hi Sarah,

I am the homeowner and resident of 5000 Tennessee, and I wish to express my opposition to the planned house at 5010 Tennessee Ave. I echo the same sentiments as Tim McDonald, as this house is highly intrusive. A house of 31 feet tall is not consistent with the nearby homes and would not fit in with the majority of the homes within St. Elmo. The tearing down of trees has already disrupted what was once a beautiful piece of land. While we used to hear owls almost nightly, this is now an almost rare occasion. What used to be a wooded lot outside my kitchen window and looking out from my backyard is now almost completely void of trees. While the tearing down of trees obviously can't be reversed, I do ask that the committee seriously consider the intrusiveness of this planned house. If plans for the house are to be approved, I do agree with the distance the house will be set back from the road, even though that means the house will be the primary view out of our kitchen window.

I am unable to attend the meeting on the 17th but wanted to state my comments. Thank you for your time.

Amy Quillen

Comments by Other Persons

Case # HZ-20-143

5010 Tennessee Avenue

Ms. Robbins,

My name is Arline Cadwell, and I own my home in St. Elmo at 5023 Sunnyside Avenue, as well as each of the homes on either side of my home at 2025 and 5021 Sunnyside Avenue. Since I will be unable to be present at the September 17 meeting where CASE # HZ-20-143, and I want to go on record as agreeing with the comments that Tim McDonald has sent to you regarding 5010 Tennessee Avenue, I have taken the liberty of repeating his comments below:

RE: CASE HZ-20-143 5010 TENNESSEE AVENUE

RELEVANT GUIDELINE: PAGE 52, SECTION 6.22 - DESIGN GUIDELINES -
"MAINTAIN/NOT DISRUPT THE EXISTING PATTERN OR SURROUNDING HISTORIC BUILDINGS"

PARAGRAPH A. SCALE.

THE HEIGHT OF 31 FEET, 7 INCHES IS OUT OF SCALE WITH THE IMMEDIATE SURROUNDING NEIGHBORHOOD. THE HOUSE WILL BE INTRUSIVE. THIS HOUSE IS PLANNED FOR THE UPPER END OF THIS WOODED LOT AND APPEARS TO BE OVERLY VISIBLE.

PARAGRAPH C. OF SECONDARY BUILDINGS SUCH AS GARAGES, CARPORTS, AND OTHER BUILDINGS.

THERE ARE NO CARPORTS IN THE IMMEDIATE NEIGHBORHOOD. A PARKING PAD WOULD BE A BETTER FIT.

PARAGRAPH A. 11. PLACEMENT ON THE LOT

I AGREE WITH THE PLACEMENT ON THE LOT. THIS HOUSE IS AN INTRUSION ON A FORMERLY WOODED LOT, BUT ITS PLACEMENT IS CONSISTENT WITH THE VARIOUS SETBACKS IN THE NEIGHBORHOOD.

THIS SETBACK SUPPORTS THE GOAL OF MAINTAINING AS MANY LARGE TREES AS POSSIBLE AND SHOULD BE APPROVED.

(NOTE: DUE TO POOR MANAGEMENT OF THE SITE UNDER THE PREVIOUS COA, A LARGE NUMBER OF TREES WERE KILLED AND HAD TO BE REMOVED.)

THIS LOT IS VERY STEEP (I KNOW HISTORIC ZONING DOES NOT REGULATE STEEP SLOPES, BUT THIS SETBACK GIVES SOME PROTECTION FOR A STEEP SLOPE BY MINIMALLY DISRUPTING THE SLOPE.)

Thank you for your consideration of the comments I have presented above, which echo comments previously made to you in a letter to you from Tim McDonald on September 15, 2020.

Sincerely,

Arline Cadwell
5023 Sunnyside Avenue
Chattanooga, TN 37409

Community Comments & Comments by Other Persons

(3 minutes maximum per person)

Case # HZ-20-143
5010 Tennessee Avenue

Please raise your hand in Zoom if you would like to speak.





Case # HZ-20-143
5010 Tennessee Avenue

**Applicant Response (5 minute maximum)
Historic Zoning Commission Discussion
Motion and Vote**

Case # HZ-20-144

4300 Tennessee Avenue

Neighborhood: Saint Elmo

Historic Structure: Yes, built between 1904 and 1914.

Listed as a Contributing Structure: Yes, this property is listed on the National Registry Historic Places Contributing Structure Inventory List for the Saint Historic District.

Description of proposed project:

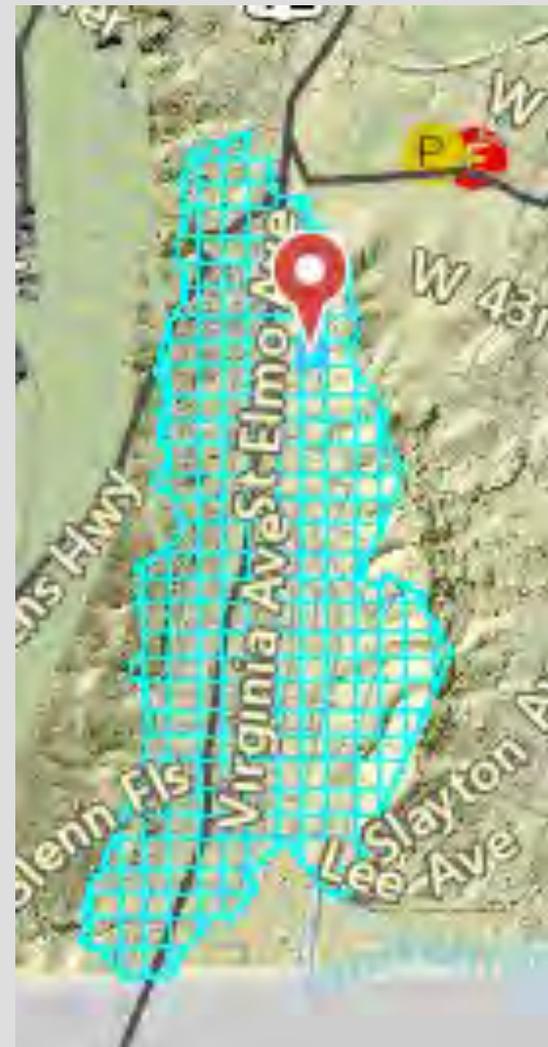
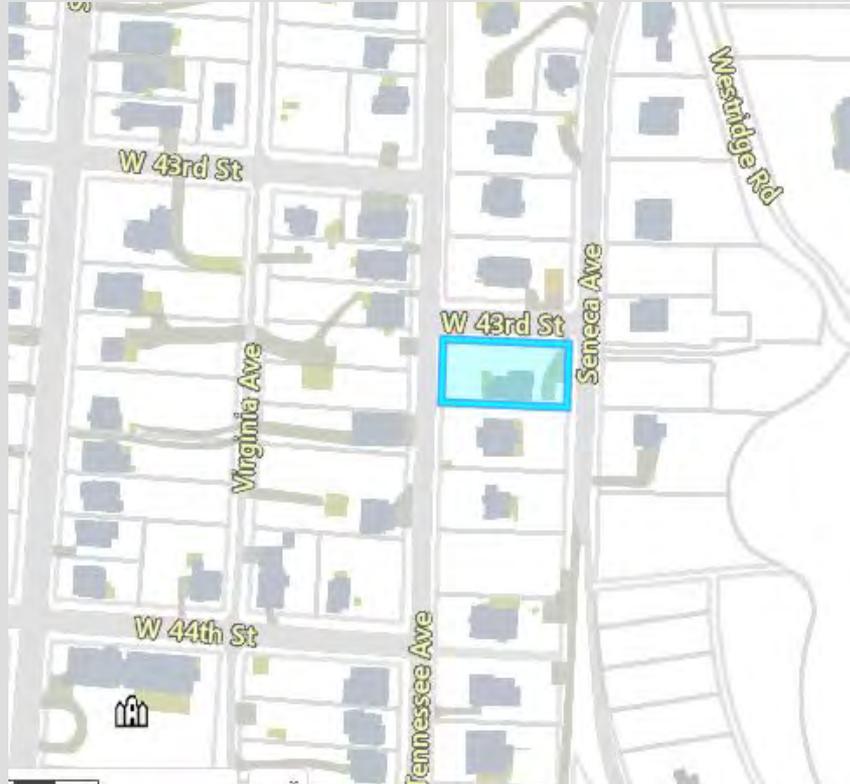
- Demolition of existing garage structure due to structural integrity
- Demolition of existing (non original) addition due to structural integrity
- New construction of building addition, to include: a new two story two car garage, open breezeway from garage to main structure, and new rear of house structure addition (to include new footings, foundation, framing, roofing, windows, door and siding, courtyard, driveway, & walkway)
- Restoration of the original structure (entire porch, all windows restored or replace with wood windows to match the house, restore doors, gutters, roofing repaired, foundation repaired)

(521) 4300 Tennessee (Between 1904-14): Rectangular, two stories, artistic concrete covering, irregular hipped roof, two-sided verandah, transom and sidelights at door, ell shaped porch.

Historic Zoning History: None

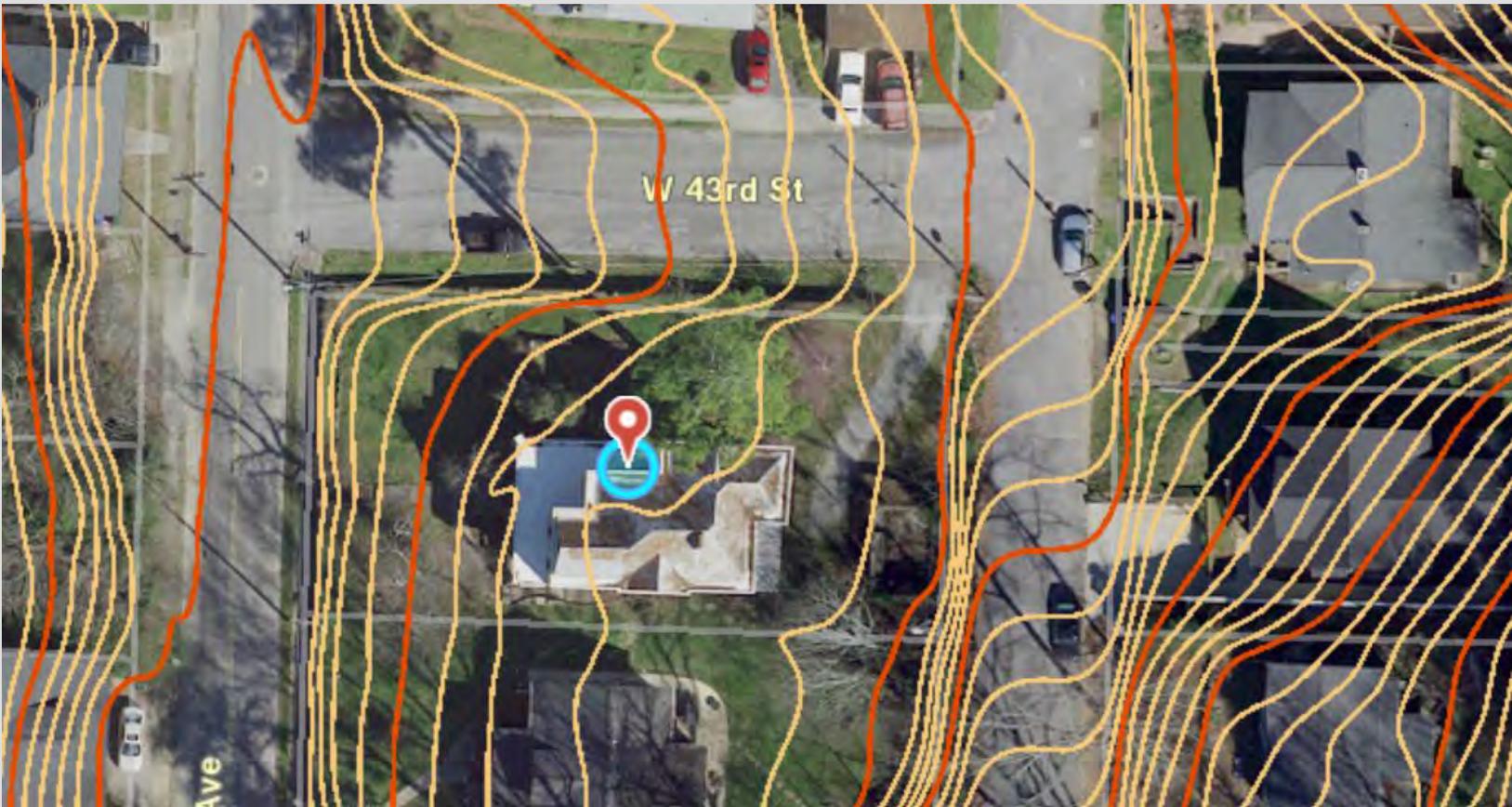
Map Location

Case # HZ-20-144
4300 Tennessee Avenue



Map Location

Case # HZ-20-144
4300 Tennessee
Avenue



Property Photos

Case # HZ-20-144
4300 Tennessee Ave.



Property Photos

Case # HZ-20-144

4300 Tennessee Avenue



Google

Property Photos

Case # HZ-20-144

4300 Tennessee Avenue



Property Photos

Case # HZ-20-144

4300 Tennessee Avenue



Property Photos

Case # HZ-20-144
4300 Tennessee Avenue



Property Photos

Case # HZ-20-144

4300 Tennessee Avenue

2014



Property Photos

Case # HZ-20-144

4300 Tennessee Avenue



Currently shown: Aug 2011

07

2014



Property Photos

Case # HZ-20-144
4300 Tennessee
Avenue



Property Photos

Case # HZ-20-144
4300 Tennessee
Avenue



Property Photos

Case # HZ-20-144

4300 Tennessee Avenue



Property Photos

Case # HZ-20-144

4300 Tennessee Avenue



Property Photos

Case # HZ-20-144

4300 Tennessee Avenue

EXISTING PROPERTY PHOTOS

4300 TENNESSEE AVENUE
CHATTANOOGA, TN 37409



GARAGE STRUCTURE TO BE TORN DOWN & REBUILT

Adjacent Property Photos

Case # HZ-20-144

4300 Tennessee Avenue



Adjacent Property Photos

Case # HZ-20-144

4300 Tennessee Avenue



Adjacent Property Photos

Case # HZ-20-144

4300 Tennessee Avenue



Adjacent Property Photos

Case # HZ-20-144
4300 Tennessee Avenue

NEIGHBORING PROPERTY PHOTOS

4300 TENNESSEE AVENUE
CHATTANOOGA, TN 37409



LEFT SIDE OF PROPERTY ACROSS 43RD ST.

Application Information

Case # HZ-20-144
4300 Tennessee Avenue



LEFT ELEVATION

SCALE: 1/4" = 1'-0"

Application Information

Case # HZ-20-144
4300 Tennessee Avenue



REAR ELEVATION

SCALE: 1/4" = 1'-0"

Application Information

Case # HZ-20-144
4300 Tennessee Avenue



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

Application Information

Case # HZ-20-144
4300 Tennessee Avenue



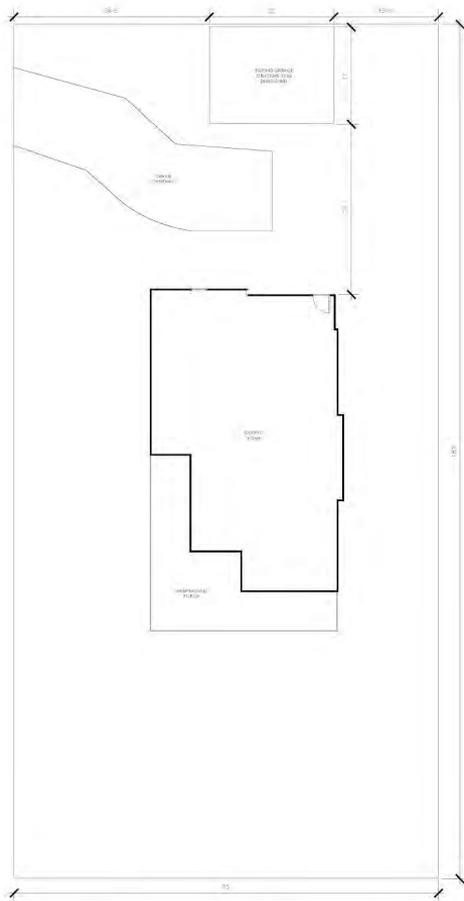
PERSPECTIVE VIEW

SCALE: 1/4" = 1'-0"

Application Information

Case # HZ-20-144
4300 Tennessee Avenue

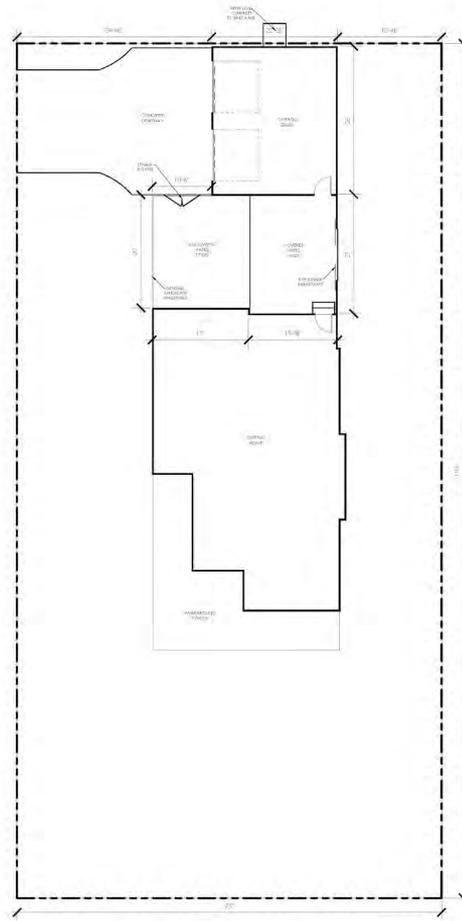




1
A1.1

EXISTING SITE PLAN

1/8"=1'-0"



1
A1.1

PROPOSED SITE PLAN

1/8"=1'-0"

Application Information

Case # HZ-20-144
4300 Tennessee Avenue

Application Materials List

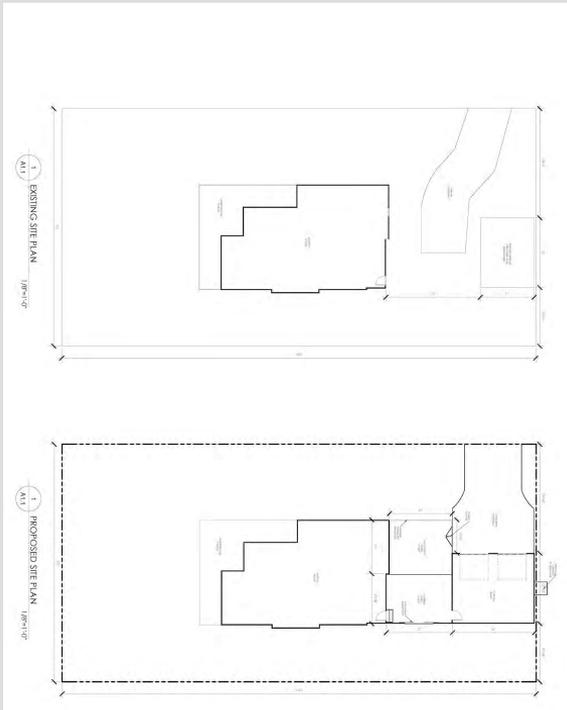
Case # HZ-20-144
4300 Tennessee
Avenue

4300 TENNESSEE AVENUE EXTERIOR MATERIALS

LAP SIDING	HARDIE BOARD - 5" PLANK
TRIM, SOFFITS	ALL MATERIALS TO BE HARDIE BOARD - 4" TRIM BOARD
WINDOWS	DUAL PANE WINDOWS TO MATCH EXISTING HOME
EXTERIOR DOORS	WOOD @ GARAGE- STEEL @ REAR HOME ENTRY
CORBELS	WOOD STAINED
PORCH CEILING	TONGUE & GROOVE
FAÇADE & FOUNDATION SKIRT	ROCK FACE STONE
GUTTERS	SEAMLESS ALUMINUM
ROOFING	VICTORIAN SHINGLE TO MATCH EXISTING HOME
COVERED PATIO	MASONRY TOP
OPEN COURTYARD	PAVER/GRASS
DRIVEWAY & FRONT SIDEWALK	CONCRETE

New Construction Setback Study

Case # HZ-20-144
4300 Tennessee Avenue



Relevant Saint Elmo Guidelines:

Case # HZ-20-144 . 4300 Tennessee Avenue

- Page 33. Section 6.1. Design Guidelines: Additions
- Page 36. Section 6.4. Design Guidelines: Brickwork and Mortar
- Page 39. Section 6.7. Design Guidelines: Demolition
- Page 40. Section 6.8. Design Guidelines: Doors
- Page 41. Section 6.9. Design Guidelines: Driveway and Paving
- Page 45. Section 6.12. Design Guidelines: Foundations
- Page 47. Section 6.15. Design Guidelines: Gutters
- Page 56. Section 6.22. Design Guidelines: New Construction (New Buildings). C. Of secondary buildings
- Page 59. Section 6.25. Design Guidelines: Porches, Porch Columns and Railings
- Page 62. Section 6.27. Design Guidelines: Roof
- Page 67. Section 6.32. Design Guidelines: Sidewalks and Walkways
- Page 74. Section 6.41. Design Guidelines: Windows

Staff Report

Case # HZ-20-144 . 4300 Tennessee Avenue

Elements Consistent with Guidelines:

- Demolition of existing garage structure due to structural integrity
- Demolition of existing (non original) addition due to structural integrity
- Restoration of the original structure (entire porch, all windows restored or replace with wood windows to match the house, restore doors, gutters, roofing repaired, foundation repaired)

Recommended Application Clarification or Changes:

Page 56. Section 6.22. Design Guidelines: New Construction (New Buildings). C. Of secondary buildings

- Construction of building addition, to include: a new two story two car garage, open breezeway from garage to main structure, and new rear of house structure addition (to include new footings, foundation, framing, roofing, windows, door and siding, courtyard, driveway, & walkway)

The Saint Elmo Guidelines recommend that building additions are “Located as traditional for the street, near an alley or at the side of the dwelling, not close to or attached to the primary building;”. Please clarify how this Guideline is being achieved through this design.



Case # HZ-20-144
4300 Tennessee Avenue

Applicant Presentation (10 minutes maximum)

Comments by Other Persons

Case # HZ-20-144
4300 Tennessee Avenue

COMMENT - HZ-20-144 4300 TENNESSEE AVENUE

I AGREE WITH THE NEW GARAGE PROPOSED FOR 4300 TENNESSEE AVENUE AS A REPLACEMENT FOR A PREVIOUS GARAGE.

THANK YOU.

TIM MCDONALD

5019 SUNNYSIDE AVENUE



Comments by Other Persons

Case # HZ-20-144 . 4300 Tennessee Avenue

Sarah,

I will be unable to attend the meeting this week. I have concerns that I would like voiced during that time, however, regarding 4300 TN Ave.

First, I wanted to express that I agree with Tim McDonald on his comments regarding **CASE HZ-20-140 5010 TENNESSEE AVENUE**

In regards to **CASE - HZ-20-144 4300 TENNESSEE AVENUE...**

If the two story garage is **connected** to the house, does that allow them to add an apartment in the structure? While some houses and properties look suitable to allow an apartment, this property is highly historic and I would think that an apartment would detract from it's uniqueness, not to mention the property values of the surrounding houses that are so tightly placed around the proposed structure. I would never begrudge someone a half bath in their garage for their workshop or an office. I just want to be clear on the remodeler's intent here. Also, most homes in our area do not have the connector to the garage. If the new thought process in Historic Zoning is that a connector automatically means that an apartment is acceptable, then maybe connectors should not be allowed. However, what a wonderful thing it would be to have that connector in order to get in the house without being rained on and to tie the structures together. I wonder if either a decision needs to be made that connectors do not mean that apartments can be added or that we won't have connectors.

Otherwise, I am so super excited to see the work done on this old beauty. It is a crime that it was allowed to sit in disrepair for so long!

Thanks, Sarah!
Alison Van Winkle
4907 Guild Trail

Community Comments & Comments by Other Persons

(3 minutes maximum per person)

Case # HZ-20-144
4300 Tennessee Avenue

Please raise your hand in Zoom if you would like to speak.





Case # HZ-20-144
4300 Tennessee Avenue

**Applicant Response (5 minute maximum)
Historic Zoning Commission Discussion
Motion and Vote**

Other Business:

Welcome New CHZC Member Veronica Park as the architecture representative.

Final Information

- A **Certificate of Appropriateness** will be issued for approved projects within a week of the hearing.
 - For specific historic zoning questions, please reach out to: **Sarah Weeks Robbins**, Development Review Planner, at 423.643.5842, srobbins@chattanooga.gov
 - For general information regarding the application submission or Commission Procedure, please reach out to: **Levi Witt**, Historic Planning and Zoning Administrative Support, at 423.643.5878, ls Witt@chattanooga.gov
- Next meeting date: October 15, 2020 (application deadline – September 18, 2020 at 4 p.m.)
- **If your case is deferred OR if you have conditional items to bring back before the Commission, you MUST contact staff and ask to be added to the agenda for that meeting. You will NOT automatically be added to the agenda.**



Adjourn

Motion and Vote